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## **PRELIMINARY SITE INVESTIGATION (PSI)**

### **Property Address**

58-76 Stanmore Road, 2-20 Tupper Street & 1-9 Alma Avenue,  
Stanmore NSW

### **Prepared for**

Platino Properties Pty Ltd

### **Date**


November 2021

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## ABBREVIATIONS

<b>AIP</b>	<i>Australian Institute of Petroleum Ltd</i>	<b>QA/QC</b>	<i>Quality Assurance, Quality Control</i>
<b>ANZECC</b>	<i>Australian and New Zealand Environment and Conservation Council</i>	<b>RAC</b>	<i>Remediation Acceptance Criteria</i>
<b>AST</b>	<i>Aboveground Storage Tank</i>	<b>RAP</b>	<i>Remediation Action Plan</i>
<b>BGL</b>	<i>Below Ground Level</i>	<b>RPD</b>	<i>Relative Percentage Difference</i>
<b>BTEX</b>	<i>Benzene, Toluene, Ethyl benzene and Xylene</i>	<b>SAC</b>	<i>Site Assessment Criteria</i>
<b>COC</b>	<i>Chain of Custody</i>	<b>SVC</b>	<i>Site Validation Criteria</i>
<b>DA</b>	<i>Development Approval</i>	<b>SWL</b>	<i>Standing Water Level</i>
<b>DP</b>	<i>Deposited Plan</i>	<b>TCLP</b>	<i>Toxicity Characteristics Leaching Procedure</i>
<b>DQOs</b>	<i>Data Quality Objectives</i>	<b>TPH</b>	<i>Total Petroleum Hydrocarbons</i>
<b>EPA</b>	<i>Environment Protection Authority</i>	<b>UCL</b>	<i>Upper Confidence Limit</i>
<b>ESA</b>	<i>Environmental Site Assessment</i>	<b>UST</b>	<i>Underground Storage Tank</i>
<b>HIL</b>	<i>Health-Based Soil Investigation Level</i>	<b>VHC</b>	<i>Volatile Halogenated Compounds</i>
<b>LGA</b>	<i>Local Government Area</i>	<b>VOC</b>	<i>Volatile Organic Compounds</i>
<b>NEHF</b>	<i>National Environmental Health Forum</i>	<b>DPI</b>	<i>Department of Primary Industries</i>
<b>NEPC</b>	<i>National Environmental Protection Council</i>		
<b>NHMRC</b>	<i>National Health and Medical Research Council</i>		
<b>OCP</b>	<i>Organochlorine Pesticides</i>		
<b>OPP</b>	<i>Organophosphate Pesticides</i>		
<b>PAH</b>	<i>Polycyclic Aromatic Hydrocarbon</i>		
<b>PCB</b>	<i>Polychlorinated Biphenyl</i>		
<b>PID</b>	<i>Photo Ionisation Detector</i>		
<b>PQL</b>	<i>Practical Quantitation Limit</i>		

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## EXECUTIVE SUMMARY

Foundation Earth Sciences was appointed by Platino Properties Pty Ltd to undertake a Preliminary Site Investigation (PSI) for the property situated at 58-76 Stanmore Road, 2-20 Tupper Street & 1-9 Alma Avenue, Stanmore NSW ("the site").

The site at 58-76 Stanmore Road, 2-20 Tupper Street and 1-9 Alma Avenue, Stanmore, is a rectangular lot on the southern side of Stanmore Road. The eastern and western boundaries provide frontages to Alma Avenue and Tupper Street which are accessible by vehicles and pedestrians. The site has a fall of approximately 11m from the northeast to southwest.

The property at 58-76 Stanmore Road is occupied by a part three and four-storey registered club premises (The Cyrus Club) with at grade asphalt covered carpark. The properties situated at 2-14 Tupper Street are residential, whilst the property at 20 Tupper Street is vacant and in use as a grass covered carpark. The property located at 1 Alma Avenue is occupied by an electrical substation. The properties located at 1-9 Alma Avenue appear to be an extension of the asphalt carpark located in 58-76 Stanmore Road.

The proposed development plans indicate that the site will be spilt into three properties identified as Site A, Site B and Site C. Details of these sites are described below:

- **Site A** – 58-76 Stanmore Road, Stanmore NSW. The site is proposed to be developed into a multi storey building, with commercial, retail and recreational spaces. There will be a two-level basement carpark and loading zone. On the ground floor of the development, there will be a separate commercial and retail space, with a walk through to access Stanmore Road from Site B.



- **Site B** – 2-14 Tupper Street and 1-9 Alma Avenue. The site is proposed to be developed into two multi-storey residential apartments, one along Tupper Street (Building C) and the other along Alma Avenue (Building D). Two levels of basement carparking for both building. On the ground floor, a communal space, park area and access paths have been proposed. An access laneway between Site B and C has also been included in the plans.
- **Site C** – 20 Tupper Street. The site is proposed to be developed into 10 townhouses with basement car park.

A number of potential areas of environmental concern were identified at the site, particularly:

- Historical and current uses (Club, restaurant, residential, power substation and car park);
- Surrounding land uses including laundry service, service station and dry cleaners;
- Electrical substation;
- Imported fill of unknown quality or origin;
- Carpark areas / driveways where leaks and spills from cars may have occurred;
- degrading building features;

Founded on the investigation including the proposed land use, previous site history, underground services plans, land title information & site inspection, the potential for significant soil and/or groundwater impact is considered a moderate risk. In applying the NEPM 2013 Schedule B2 “Guideline on Site Characterisation”; there is sufficient evidence, uncertainty and/ or suspicion of contamination, therefore further investigation is recommended.

The following data gaps were identified:

- The soil and groundwater quality at the site have not been investigated.
- The SafeWork NSW records have not been searched and/or records received at the time of writing this report.

Based on the results of this investigation it is considered that the risks to human health and the environment associated with soil and groundwater contamination at the site are moderate in the context of the proposed use of the site. The site ***can be made suitable*** for the proposed development, subject to the following recommendations:

- Preparation of a Detailed Site Investigation (Phase 2 Environmental Site assessment) by a suitably qualified Environmental Consultant.
- A hazardous materials assessment is recommended to be completed prior to the demolition of the site.
- Any soil requiring removal from the site, as part of future site works, should be classified in accordance with the “Waste Classification Guidelines, Part 1: Classifying Waste” NSW EPA (2014).

If during any potential site works any significant unexpected occurrence is identified, site works should cease in that area, at least temporarily, and the environmental consultant should be notified immediately to set up a response to this unexpected occurrence.

Thank you for the opportunity of undertaking this work. We would be pleased to provide further information on any aspects of this report.

## **1.0 INTRODUCTION**

Foundation Earth Sciences was appointed by Platino Properties Pty Ltd to undertake a Preliminary Site Investigation (PSI) for the property situated at 58-76 Stanmore Road, 2-20 Tupper Street & 1-9 Alma Avenue, Stanmore NSW ("the site").

This PSI has been requested to determine the potential for onsite contamination arising from any areas of concern located within the site and its surrounding area. This report shall provide a preliminary assessment of any site contamination and, if required, provide a basis for a more detailed investigation.

A site visit was undertaken on the 11<sup>th</sup> November 2021. Fieldwork and reporting were conducted in general accordance with the Foundation Earth Sciences proposal and with reference to relevant regulatory criteria and Foundation Earth Sciences fieldwork protocols.

The format of this report closely follows that recommended in the NSW Environment Protection Authority (EPA), *"Consultants Reporting on Contaminated Land"* – 2020.

## **2.0 OBJECTIVE**

The objective of this PSI was to assess the potential for the soils and groundwater at the site to have been impacted by previous and current activities undertaken at, or adjacent to, the site and to assess the site suitability for the proposed development.

This report may also recommend additional investigations and / or remediation works and possible strategies for the management of the site.

### **3.0 SCOPE OF WORKS**

The scope of works for this PSI included:

- Research and review of the information available, including previous environmental investigations, past and current titles, aerial photographs, EPA records and anecdotal evidence, site survey, site records on waste management practices;
- Site walkover, including research of the location of sewers, drains, holding tanks and pits, spills, patches of discoloured vegetation, etc;
- Quality Assurance/Quality Control (QA/QC): work will be undertaken in accordance with relevant regulations and are consistent with industry standards.

## 4.0 SITE IDENTIFICATION

### 4.1 Site identification

The site is identified as follows:

**Table 1: Site Identification Review**

Site Identifier	Site Details
Site Location	58-76 Stanmore Road, Stanmore NSW; 2-20 Tupper Street, Enmore NSW; & 1-9 Alma Avenue, Enmore NSW.
Lot/DP	<u>58-76 Stanmore Road:</u> Lot 1 in DP 121240, Lot 1 in DP105806, Lot A & B in DP 308880 <u>2-20 Tupper Street:</u> Lot C & D in DP 308880, Lot 1 in DP923826, Lot 1 in DP 115287, Lot 1 in DP 119242, Lot 1 & 2 in DP 301956, Lot 1 in DP 167529. <u>1-9 Alma Avenue:</u> Lot1 in DP 180283 Lot 1 in DP 971516 Lot 1-3 in DP444675
Site Coordinates #	SW Corner: Latitude: -33.899665, Longitude: 151.167542
Parish	Petersham
County	Cumberland
Site Area	Approximately 9,300m <sup>2</sup>
Local Government Area (LGA)#	Inner West
Zoning##	RE2 – Private Recreation

	R2 – Low Density Residential	
Surrounding Land Uses	<i>North</i>	Stanmore Road then Residential
	<i>South</i>	Residential
	<i>East</i>	Tupper Street then Residential/Commercial/service Station
	<i>West</i>	Alma Avenue then Residential/commercial

Notes:

# Refer to NSW LPI “Six Maps” <https://maps.six.nsw.gov.au/>## <https://www.planningportal.nsw.gov.au/find-a-property>

## **5.0 SITE HISTORY AND PROPOSED DEVELOPMENT**

### **5.1 Underground Services**

‘Dial Before You Dig’ plans were requested and reviewed for the site. Plans were provided by Ausgrid, FibreconX Pty Ltd, Inner West Council, Jemena Gas South, NBN Co NswAct, Nextgen NCC – NSW, Optus and or Uecomm Nsw, Sydney Trains Central, Sydney Water, Telstra NSW Central, TPG Telecom (NSW) and Transport for NSW. The plans did not indicate the presence of any major underground service or utilities easements at the site.

The plans provided by Sydney Water indicated that two sewer lines run within the boundary of the site, and there are water mains running along the north, east and west boundaries. The Sydney Trains plans indicated that there is a high voltage cable running along the eastern boundary of the site. The Ausgrid plans highlighted the power substation that exists along the western border of the site, as well the cables present along the northern and western boundaries. The plans provided by Telstra also indicated that there are connected from the pits in the street to the properties located within the site along the east, west and north borders. It is noted that the associated underground service is considered as a potential preferential pathway.

Refer to **Appendix A** – DBYD Plans.



## 5.2 Review of Aerial Photographs

A number of aerial photographs obtained from the NSW Department of Lands and/or the Land and Property Information Spatial Information Exchange website “Six maps” were reviewed as part of this PSI. Copies of the aerial photographs are kept in the offices of Foundation Earth Sciences and are available for examination upon request. The results of this review are presented in the following table:

**Table 2 Review of Aerial Photographs**

Year	Site		Surrounding areas
1943	Residential	The site appears to be occupied by several residential properties. No. 1 Alma Street seems like being occupied as a substation.	N: Road then Residential S: Residential E: Street then Residential W: Residential
1961	Residential	No major changes	No major changes

1975	Commercial and Residential	The properties located at 58-76 Stanmore Rd appeared to have been redeveloped from residential houses to a commercial building and a gravel carpark in along the western boundary. The properties located at 3 and 9 Alma Street and 20 Tupper Street appeared to have been removed, leaving what appears to be an extended carpark. The residential properties located at 5-7 Alma Street and 2-14 Tupper Street have remained unchanged.	<p>N: No major changes</p> <p>S: Appears to be some redeveloped residential properties</p> <p>E: Road then Residential and vacant lots</p> <p>W: No major changes</p>
1991	Commercial and Residential	No major changes	<p>N: No major changes</p> <p>S: No major changes</p> <p>E: Road then Residential, with some new developments and Commercial</p> <p>W: Road then Residential, with some new developments</p>
1998	Commercial and Residential	Commercial building appears to have been upgraded.	No major changes

2004	Commercial and Residential	The residential properties located at 5 and 7 Alma Street appear to have been removed. The carparking space now extended from the northern to the southern border. The carpark next to the recreational building also appears to have been covered in asphalt.	No major changes
Current	As per inspection	The site is as inspected (section 7.1)	As per inspection.

The aerial photographs indicate the site appeared to be occupied by several residential properties prior to 1943 and until 1975. A substation has been located at 1 Alma Ave since 1943s. At some point before 1975, the properties to the north-west were removed and the land was redeveloped into a commercial building. Other properties along Alma Street and the southern boundary were also removed to create what appeared to be gravel carparks. The site appeared to remain relatively unchanged from 1975 until 2005, except for what appeared to be an upgrade to the commercial building prior to 1994. Before 2005, the residential properties located at 5 and 7 Alma Street were removed to extend the carpark. The carpark next to the residential building also appeared to be covered in asphalt. From then until the present time, the site has remained relatively unchanged.

The surrounding land appeared to be dominated by residential properties from 1943. The surrounding areas remained relatively unchanged from 1943 to 1975. Prior to 1975, there appeared to be some properties that had been redeveloped and were in construction to the south and east of the site. By 1986, most of these had been

completed, with further new developments and commercial spaces being observed to the east. From 1994 to the present time, the surrounding areas appeared to remain relatively unchanged.

Refer to **Appendix B** – Historical Aerial Photographs.

### 5.3 Title search

A review of historical documents held at the NSW Department of Lands offices was undertaken to characterise the previous land use and occupiers of the site.

**Table 3a Historical land title data**

Lot 1 in DP 105806 (58-76 Stanmore)		
Year	Proprietor	Company/ Personal occupation
1988-Current	The Cyprian Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1972	-	-
1961	Joseph Vincent	-
1955	<i>Sarah Jacqueline</i>	
1941	Alga Frances Taylor Pearl	-
1913	Jennifer Elieen	-
1902	<i>Jessy Ellon Jecure</i>	-

**Table 3b Historical land title data**

Lot 1 in DP 121240 (58-76 Stanmore Road NSW)
--

Year	Proprietor	Company/ Personal occupation
1988-Current	The Cyprian Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1961	Joseph Vincent	-
1960	Ronald Joseph Tidyman Noel William Tidyman Kevin John Tidyman Keith Benedict Tidyman	-
1950	Rubenia Manude Tidyman	-
1943	Emmie Marie Wilhelmina Crisp James Alexander Crisp	-
1943	Constance Thirza Dorothea Evans Jack Charles Evans	-
1929	<i>Emily Jane Walther</i>	-

**Table 3c Historical land title data**

Lot A in DP 308880 (58-76 Stanmore Road)		
Year	Proprietor	Company/ Personal occupation
1988-Current	The Cyprian Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
<i>Leased on 1962</i>	<i>Newtown Leagues Club Limited</i>	-
<i>Oct -1959</i>	<i>Ronald James Edward Field</i>	<i>Canine Specialist</i>
May-1959	Joseph Vincent	-
1950	Edward Will	-
1945	Dogmant Cecelia	-
1924	Alphonse Even	French Cleaner and Dyer

**Table 3d Historical land title data**

<b>Lot B in DP 308880 (58-76 Stanmore Road NSW)</b>		
<b>Year</b>	<b>Proprietor</b>	<b>Company/ Personal occupation</b>
Current	The Cyprian Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1968	Joseph Vincent	-
1962	<i>Douglas Atuaint</i>	-
1957	<i>Vincent of Wav</i>	-
1956	Leater Pheer	-
1956	Douglas Alexander	-
1946	Vera May Julie	-
1924	Mary Eliza Chown	-
1916	Robert Henry Lebron	-

**Table 3e Historical land title data**

<b>Lot 1 in DP 180283 (1 Alma Avenue)</b>		
<b>Year</b>	<b>Proprietor</b>	<b>Company/ Personal occupation</b>
1927-Current	Alpha Distribution Ministerial Holding Corporation	-
1927	<i>The Municipal Council of Sydney</i>	<i>Council Department</i>

**Table 3f Historical land title data**

<b>Lot 1 in DP 971516 (3 Alma Avenue)</b>		
<b>Year</b>	<b>Proprietor</b>	<b>Company/ Personal occupation</b>

1988-Current	The Cyprus Community of NSW Limited	-
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1971	Joseph Vincent Bugle	-
1968	Douglas Stuart Bain	
1956	Thomas Irvine Robert	-
1940	Thomas Irvine Parker	Boilermarker

**Table 3g Historical land title data**

Lot 1 in DP 444675 (5 Alma Avenue)		
Year	Proprietor	Company/ Personal occupation
1996 - Current	The Cyprus Community of NSW Limited	Club
-	George Strathie	-

**Table 3h Historical land title data**

Lot 2 in DP 444675 (7 Alma Avenue)		
Year	Proprietor	Company/ Personal occupation
1988-Current	Cyprus Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1971	George Kennedy	School Teacher
1969	Douglas Vincent Bain	-
1959	Frederick Beveridge Edith Pearl Amelia Beveridge	Bus Driver

**Table 3i Historical land title data**

Lot 3 in DP 444675 (9 Alma Avenue)		
------------------------------------	--	--



Year	Proprietor	Company/ Personal occupation
1999- Current	The Cyprus Community of NSW Limited	Club
-	<i>Aziz Tahan</i>	-

**Table 3j Historical land title data**

Lot C in DP308880 (2-4 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2009-Current	The Cyprus Community Of NSW Limited	Club
-	<i>Nicole Kljajic</i>	-

**Table 3k Historical land title data**

Lot D in DP 308880 (6 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2007 - Current	The Cyprus Community of NSW Limited	Club
-	<i>Milorad Kijajic</i>	-

**Table 3l Historical land title data**

Lot 1 in DP 923826 (8 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2013 - Current	The Cyprus Community of NSW Limited	Club
-	<i>Ian Paul Hollister</i> <i>Gillian Paula Hollister</i>	-

**Table 3m Historical land title data**

Lot 1 in DP 115287 (10 Tupper St)		
-----------------------------------	--	--

Year	Proprietor	Company/ Personal occupation
2013 - Current	The Cyprus Community of NSW Limited	Club
-	<i>Julia Helen Mitchell</i> <i>Margaret Ellen Mccabe</i>	-

**Table 3n Historical land title data**

Lot 1 in DP 119242 (10 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2013 - Current	The Cyprus Community of NSW Limited	Club
-	<i>Julia Helen Mitchell</i> <i>Margaret Ellen Mccabe</i>	-

**Table 3o Historical land title data**

Lot 1 in DP 301956 (12 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2009-Current	The Cyprus Community of NSW Limited	Club
-	<i>Milorad Kijajic</i> <i>Nicole Kijajic</i>	-

**Table 3p Historical land title data**

Lot 2 in DP 301956 (14 Tupper St)		
Year	Proprietor	Company/ Personal occupation
2012-current	The Cyprus Community of NSW Limited	Club

**Table 3q Historical land title data**

Lot 1 in DP 1034722 (20 Tupper St NSW)		
--	--	--

Year	Proprietor	Company/ Personal occupation
Current	The Cyprus Community of NSW Limited	Club
1985	Desmond Francis O'Connor Francis James Farrington John Singleton	-
1968	<i>Joseph Vincent Bugle</i>	-
1966	<i>Douglas Stuart Bain</i>	-
1942	Kennedy Terian	-
1929	Linelar Ada Martcaue	-
1922	Jegaleh Mary Goodlet	-
1921	Helen Wilson Felt	-

In summary, the land titles have indicated the following:

- The property at 58-76 Stanmore Road has been owned by The Cyprus Community of NSW – Club from 1988 until present date. sometime from 1962, the property has been leased to Newtown Leagues Club.
- The property at No.1 Alma Avenue is owned by Commercial (Municipal of Council Sydney) as electrical transmission station. 3-9 Alma Ave has been owned by private before transferred to The Cyprus Community of NSW Limited
- The property at 2-20 Tupper St has been owned by private titles before transferred to The Cyprus Community of NSW Limited in early 2000s

Refer to **Appendix C** – Land Title Information.

## **5.4 NSW EPA Contaminated Land Records, List of Notified Sites and POEO Records**

### **5.4.1 NSW EPA Records**

The NSW EPA published records of contaminated sites under Section 58 of the Contaminated Land Management (CLM) Act 1997. The notices relate to investigation and/or remediation of site contamination considered to pose a significant risk of harm under the definition in the CLM Act.

A search of the database revealed that the subject site was not listed. There were no other properties listed within the suburb of Stanmore & Enmore.

It should be noted that the NSW EPA record of Notices for Contaminated Land does not provide a record of all contaminated land in NSW.

Refer to **Appendix D** – NSW EPA Records.

### **5.4.2 NSW EPA POEO Register**

A search of the POEO Register revealed that the site was not listed. There were no other properties listed with the suburb of Stanmore & Enmore.

Refer to **Appendix D** – NSW EPA Records.

### 5.4.3 NSW EPA List of Notified Sites

The NSW EPA published a list of notified contaminated sites each month. The list of notified sites contain land that has been notified to the EPA as being potentially contaminated.

A search of the list revealed that the subject site is not listed. There was one property listed within the suburb of Stanmore & Enmore. However, this was located over 1km away from the site.

Refer to **Appendix D** – NSW EPA Records.

### 5.4.4 Preliminary PFAS Screen

NSW EPA requires that PFAS is considered when investigating land contamination. The preliminary screen is based on guidelines from the PFAS National Environmental Management Plan (NEMP 2020). From this screen a decision can be made as to whether PFAS sampling of soil and groundwater is required.

Preliminary Screen	Risk of Occurrence
Any past or present site activity listed in NEMP 2020 as being activity associated with PFAS contamination? No	M
Any past or present off site activity up-gradient/adjacent to the site listed in NEMP 2020 as being activity associated with PFAS contamination?	L
Did fire training involving the use of suppressants occur from 1970 to 2010?	L
Have fuel fires ever occurred on site from 1970 to 2010?	L

Have PFAS been used in manufacturing or stored on site?	L
Could PFAS have been imported to the site in fill material from a site activity listed in NEMP 2020?	L
Could PFAS contaminated groundwater or run-off migrated to the site?	No Suspected
Is the site or adjacent site listed in the NSW EPA PFAS Investigation Program?	No
If the risk is medium or high in any of the above, does the inclusion of preliminary sampling/testing of PFAS in soil (including ASLP) and water need to be included?	Yes

- Note 1
  - Risk: L – low (all necessary documentation has been reviewed and there is no recorded instance or compelling rationale),
  - M – medium/moderate (all necessary documentation has been reviewed and there is potential evidence of a recorded instance with compelling rationale);
  - H – high (all necessary documentation has been reviewed and there is evidence of a recorded instance with compelling rationale);
  - Risk, N/A – not applicable (or “-“).
  - No /Yes
- Note 2 Activities listed in Appendix B of the NEMP (2020).
- Note 3 Runoff from up-gradient PFAS use may impact surface water, soil, sediment and groundwater.
- Note 4 PFAS is used wide range of industrial processes and consumer products, including in the manufacture of non-stick cookware, specialised garments and textiles, Scotchguard™ and similar products (used to protect fabric, furniture, leather and carpets from oils and stains), metal plating and in some types of fire-fighting foam.
- Note 5 <https://www.epa.nsw.gov.au/your-environment/contaminated-land/pfas-investigation-program>

The potential for PFAS to be present on-site was considered medium / moderate and subsequently preliminary PFAS sampling / analysis of soil is considered warranted during the DSI.

Refer to **Appendix D – NSW EPA Records**.

## **5.5 Previous Reports**

One (1) previous environmental investigation for the property is listed and briefly summarised below:

- Aargus Pty Limited (2008), 'Acid Sulphate Soil Assessment', 58-76 Stanmore Road, Stanmore NSW, Ref E2437', dated September 2008.

### **5.5.1 Aargus Pty Limited ASS (September 2008)**

Aargus Pty Ltd was appointed by Candalepas Associated on behalf of The Cyprus Community of NSW to prepare an Acid Sulphate Soil Assessment (ASS) for the site located at 58-76 Stanmore Road, Stanmore, NSW, referred to as 'the site'. The site is located in the Marrickville Council municipality.

The site is to be developed into a new community club with a multi-level basement carpark.

Samples were collected from four boreholes drilled within the area of proposed excavation.

Field pH tests indicated that soil samples collected at depth from the site were not acidic and well above the ASSMAC (1998) guideline of pH<4. Also, pyrite or jarosite was not observed during the investigation and no sulphurous odours were recorded. During field investigation no unripe muds, mid to dark grey estuarine sands or shell were detected. The soils at the site down to the proposed excavation level, therefore, did not contain *Actual Acid Sulphate Soils*.



The pH of peroxide treated soil was found to be less than the field pH of the soil. However, the pH<sub>fox</sub> values were above the ASSMAC (1998) guidelines that suggests a lack of unoxidized sulphides.

With reference to both soil observations and peroxide treated soil, the soil up to 4.5m BGL did not contain PASS. Shale Bedrock is expected to extend to the depth of excavation and acid sulphate soils are not likely to occur within this region. Hence an excavation to 15m is acceptable and ASS/PASS soils are unlikely to be encountered.

The purpose of this assessment was to investigate the soil on the site and test for potential presence of ASS and PASS. PASS soils were **not detected** at any depth up to 4.5m BGL.

## 5.6 Anecdotal evidence

Anecdotal evidence was covered by site contact named Spiro. Building alternation has been happened before 1988s.

## 5.7 Summary of site history

In summary:

- The property at 58-76 Stanmore Road has been owned by The Cyprus Community of NSW – Club from 1988 until present date. sometime from 1962, the property has been leased to Newtown Leagues Club; The property at No.1 Alma Avenue is owned by Commercial (Municipal of Council Sydney) as electrical transmission station. 3-9 Alma Ave has been owned by private before transferred to The Cyprus Community of NSW Limited; The property at 2-20

Tupper St has been owned by private titles before transferred to The Cyprus Community of NSW Limited in early 2000s.

- The aerial photographs indicate the site appeared to be occupied by several residential properties prior to 1943 and until 1975. A substation has been located at 1 Alma Ave since 1943s. At some point before 1975, the properties to the north-west were removed and the land was redeveloped into a commercial building. Other properties along Alma Street and the southern boundary were also removed to create what appeared to be gravel carparks. The site appeared to remain relatively unchanged from 1975 until 2005, except for what appeared to be an upgrade to the commercial building prior to 1994. Before 2005, the residential properties located at 5 and 7 Alma Street were removed to extend the carpark. The carpark next to the residential building also appeared to be covered in asphalt. From then until the present time, the site has remained relatively unchanged. The surrounding land appeared to be dominated by residential properties from 1943. The surrounding areas remained relatively unchanged from 1943 to 1975. Prior to 1975, there appeared to be some properties that had been redeveloped and were in construction to the south and east of the site. By 1986, most of these had been completed, with further new developments and commercial spaces being observed to the east. From 1994 to the present time, the surrounding areas appeared to remain relatively unchanged.
- The site is not listed on the NSW EPA Contaminated Land Record, NSW EPA List of Notified Sites, POEO Register or the NSW EPA PFAS Investigation Program.

## **5.8 Integrity Assessment**

The information found in the historical sources has been found to be in general concurrence. It is therefore considered that accuracy of this data is acceptable for this investigation.

## **5.9 Proposed Development**

The site at 58-76 Stanmore Road, 2-20 Tupper Street and 1-9 Alma Avenue, Stanmore, is a rectangular lot on the southern side of Stanmore Road. The eastern and western boundaries provide frontages to Alma Avenue and Tupper Street which are accessible by vehicles and pedestrians. The site has a fall of approximately 11m from the northeast to southwest.

The property at 58-76 Stanmore Road is occupied by a part three and four-storey registered club premises (The Cyrus Club) with at grade asphalt covered carpark. The properties situated at 2-14 Tupper Street are residential, whilst the property at 20 Tupper Street is vacant and in use as a grass covered carpark. The property located at 1 Alma Avenue is occupied by an electrical substation. The properties located at 3-9 Alma Avenue appear to be an extension of the asphalt carpark located in 58-76 Stanmore Road.

The proposed development plans indicate that the site will be spilt into three properties identified as Site A, Site B and Site C. Details of these sites are described below:

- **Site A** – 58-76 Stanmore Road, Stanmore NSW. The site is proposed to be developed into a multi storey building, with commercial, retail and recreational spaces. There will be a two-level basement carpark and loading zone. On the

ground floor of the development, there will be a separate commercial and retail space, with a walk through to access Stanmore Road from Site B.

- **Site B** – 2-14 Tupper Street and 1-9 Alma Avenue. The site is proposed to be developed into two multi-storey residential apartments, one along Tupper Street (Building C) and the other along Alma Avenue (Building D). Two levels of basement carparking for both building. On the ground floor, a communal space, park area and access paths have been proposed. An access laneway between Site B and C has also been included in the plans.
- **Site C** – 20 Tupper Street. The site is proposed to be developed into 10 townhouses with basement car park.

It should also be noted that the proposed plans indicate deep soil zones have been allocated around the site.

Refer to **Appendix G** – Proposed Development Plan.

## 6.0 SITE CONDITION AND SURROUNDING ENVIRONMENT

**Table 4: Site Condition and Surrounding Environment Review**

Site Information	Descriptions
<b>Sensitive Receivers</b>	The nearest sensitive human receptors are the current and future users of the site, construction workers during the site redevelopment and the general public. The nearest downgradient waterbody is Alexandria Canal located approximately 2.5km south-east of the site.
<b>Soil Landscape</b>  <i>Review of NSW Soil and Land Information website ESPADE.</i>	The Soil Landscape Map viewed on NSW ESPADE indicates that the site is Blacktown Landscape area. Gently undulating rises on Wianamatta Group shales. Local relief to 30m, slopes usually >5%. Broad rounded crests and ridges with gently inclined slopes. Cleared Eucalypt woodland and tall open-forest (dry sclerophyll forest).
<b>Topography</b>	The topography viewed on NSW ESPADE indicated the following for the Blacktown Landscape area. Gently undulating rises on Wianamatta Shale with local relief 10-30m and slopes generally >5% but occasionally up to 10%. Crests and ridges are broad (200-600m) and rounded with convex upper slopes grading into concave lower slopes. Outcrops of upper slopes grading into concave lower slopes. Outcrops of shale do not occur naturally on the surface.
<b>Geological Profile</b>	The Geological Map of Sydney (Geological Series Sheet 9030, Scale 1:100,000, Edition 1, 1983), published by the Department of Minerals and Energy indicates the residual soils within the site to be underlain by Triassic Age Shale of the Wianamatta Group, black to dark-grey shale and laminite.
<b>Presence of Acid Sulphate Soils</b>  <i>Review of NSW Department of Land &amp; Water Conservation (DLWC) Acid</i>	A review of the "Botany Bay" map indicated that the site is located in an area of "No Known Occurrence" of acid sulphate soils.

Site Information	Descriptions					
<p><i>Sulphate Soil Risk Maps (Edition Two, December 1997, Scale 1:250,000).</i></p> <p><b>Appendix I – Acid Sulphate Soil Risk Map</b></p>	<p>Furthermore, a review of the Inner West Council, Marrickville Local Environmental Plan 2011, Acid Sulfate Soils Map – Sheet ASS_003 indicated south portion of the site to be in the Class 5.</p>					
<p><b>Localised Hydrogeology</b></p> <p>Review of DPI (Office of Water) Database.</p> <p><b>Appendix F – DPI (Office of Water) Database Records.</b></p>	<b>Number</b>	<b>Location from Site</b>	<b>Depth (m BGL)</b>	<b>SWL (m BGL)</b>	<b>Use</b>	<b>Water Bearing Zones</b>
	GW111350	761m E	7.5	-	Monitoring Bore	-
	GW111351	761m E	9.0	-	Monitoring bore	-
	GW111352	761m E	8.0	7.7	Monitoring bore	Shale
	GW111353	761m E	7.0	2.5	Monitoring bore	Clay
<b>Nearest Surface Water Body</b>	The nearest downgradient waterbody is Alexandra Canal located approximately 2.5k south-east of the site.					
<p><b>Local Meteorology</b></p> <p>(Bureau of Meteorology BOM website)</p> <p><b>Appendix E – BOM Data.</b></p>	<p>The monthly rainfall of the local surrounding area is represented by the data collected from the BOM rainfall gauge located in Collaroy (Marrickville Golf Club), which is approximately 2.7km from Stanmore. The records indicate that the annual mean rainfall recorded for the month of November was 68.2mm (date of fieldwork).</p>					
<b>Nearest Active Service Station</b> (Google Maps Search)	100m south-east of the site.					

## 7.0 SITE INSPECTION

### 7.1 Site observations

The site was visited on the 11<sup>th</sup> November 2021 to inspect the site for any potential sources of contamination. The following observations were made:

**Table 5: Site Inspection Review**

Factors Considered	Description of Sites
Buildings & Structures on Site	<p>The property at 58-76 Stanmore Road consists of a Club on the ground floor with function room on the above levels. Storage, bar, outdoor woodfired pizza oven at the lower ground level. Western portion of the site is occupied at open car park.</p> <p>The property at 1 Alma Avenue is occupied as an Electrical Transmission substation; 3-9 Alma Avenue is being occupied as car park area, and currently rent out as Drive Through COVID testing clinic.</p> <p>The property at 2-20 Tupper St, the property consisted with several residential houses, No.20 has been vacant and being use as an unsealed car park space.</p>
Percentage Hard-standing surface	Approximate 80-90%
Concrete Condition	Average
Chemical Storage	Chemical storage areas were not noted at the time of the site inspection in accessible areas. However, there is a room has been using as a tool room, there are several used painting bucket store on the floor
Above and Underground Storage Tanks	No above or underground storage tanks areas were noted at the time of the site inspection in accessible areas.
Trade Waste Pits	No trade waste pits were identified at the site.
Nearby Electrical Transformers	There were is electricity sub-stations located within the accessible areas of property.
Asbestos	No fibro cement sheeting was identified within the building structures inspected in accessible areas during the inspection.

Site Vegetation	Appeared healthy.
Soil Staining and Odours	No odours were identified within the property. No significant soil staining was noted during the inspection.
Stormwater and Sewer	Stormwater was connected to the local utilities.

Refer to **Figure 1** - Site Locality and **Figure 2** - Site Features Plan.



## 8.0 CONCEPTUAL SITE MODEL (CSM)

Based on the above information, site history and site walkover, the areas of potential concern and associated contaminants for the site CSM were identified. These are summarised in the following table.

**Table 6: Areas and Contaminants of Concern**

Known and potential contamination source	Associated Contaminants
Historical & Current Site Uses (Club, restaurant, residential, power substation and car park)	Heavy Metals, TRH, BTEX, PAH, OCP, PCB & Asbestos
<i>Surrounding land Uses (Public Laundry service and Service Station with 100m E of the site; dry cleaners located approx. 260m NE)</i>	<i>TRH, BTEX, Phenol, VOC</i>
Car Parks (Loading zone) – Firefighting deluge systems	PFAS
Imported Fill	Heavy Metals, TRH, BTEX, PAH, OCP, PCB & Asbestos
Car parking Areas	TRH, BTEX, PAH
Building degradation/ Demolition	Heavy Metals and Asbestos

**Table 7: Potentially Contaminated Media**

<b>Known and potential contamination source</b>	<b>Associated Contaminants</b>
Fill Material	There is the potential for contamination to be present in the upper fill material.
Groundwater	There is the potential for the leaching of contaminants into groundwater onsite and also migration of the contaminants.
<i>Soil Vapour</i>	Given the site history and surrounding land uses, soil vapour is considered to a potential contaminated media.

### **Potential for Migration**

Contaminants generally migrate from site via a combination of windblown dusts, rainwater infiltration, groundwater migration and surface water runoff. The potential for contaminants to migrate is a combination of:

- The nature of the contaminants (solid/liquid and mobility characteristics);
- The extent of the contaminants (isolated or widespread);
- The location of the contaminants (surface soils or at depth); and
- The site topography, geology, hydrology and hydrogeology.

The potential contaminants identified as part of the site history review & site inspection are present in solid (e.g. impacted fill, asbestos), liquid (e.g. dissolved in water) and gaseous/vapour forms.

Aerial photography has indicated that there are sealed ground surfaces and therefore there is a low potential for the migration of contaminants via wind blown dust.

Rainfall infiltration at the site is expected to occur in unsealed areas. As the site is mostly sealed there is a low potential that soil contamination could result in impacts to shallow groundwater.

### **Potential Exposure Pathways**

Potential exposure pathways include:

- Dermal;
- Ingestion; and

- Inhalation.

Due to the limited exposure of potentially impacted soil/fill on ground surfaces, dermal exposure is considered low potential exposure pathway.

There is the potential for vapour to be present in the underlying profile within the site. As such, these gases potentially pose a risk to human health via the inhalation pathway.

The potential for ingestion of soil is considered as a potential exposure pathway.

Dermal and inhalation exposure pathways by potentially contaminated groundwater and/or vapour are considered as a concern based on historical land use.

### **Receptors**

Potential receptors of environmental impact present within the site which will be required to be addressed with respect to the suitability of the site for the proposed use include:

- Excavation/construction/maintenance workers conducting activities at the site, who may potentially be exposed to COPCs through direct contact with impacted soils, Vapour Intrusion and/or groundwater present within excavations and/or inhalation of dusts/fibres associated with impacted soils;
- Future occupants/users of the site may potentially be exposed to COPCs through direct contact with impacted soils and/or ingestion of impacted soils and/or inhalation of dusts/fibres associated with impacted soils and/or exposure to vapour; and/or
- Offsite sensitive receptors of groundwater;

- Flora species to be established on vegetated areas of the site; and
- Alexandra Canal

### **Preferential Pathways**

For the purpose of this assessment, preferential pathways have been identified as natural and/or man-made pathways that result in the preferential migration of COPCs as either liquids or gases.

Man-made preferential pathways are present throughout the site, generally associated with fill materials and services present beneath existing ground surface. Fill materials and service lines are anticipated to have a higher permeability than the underlying natural soil and/or bedrock.

The plans provided by Sydney Water indicated that two sewer lines run within the boundary of the site, and there are water mains running along the north, east and west boundaries. The Sydney Trains plans indicated that there is a high voltage cable running along the eastern boundary of the site. The Ausgrid plans highlighted the power substation that exists along the western border of the site, as well the cables present along the northern and western boundaries. The plans provided by Telstra also indicated that there are connected from the pits in the street to the properties located within the site along the east, west and north borders. It is noted that the associated underground service is considered as a potential preferential pathway.

## 9.0 QUALITY ASSURANCE / QUALITY CONTROL

### 9.1 General QA/QC

The frequency required for each field quality assurance / quality control (QA/QC) sample is presented in the table below.

**Table 8: QA/QCs Frequencies**

	Intra Lab	Inter Lab	Rinsate	Spikes	Blanks
Sampling Frequency	1 in 20	1 in 20	1/day	1/day	1/day

During the contamination assessment the integrity of data collected is considered vital. With the assessment of the site, a number of measures were taken to ensure the quality of the data. These are as follows:

### 9.2 Sample Containers

Soil samples collected during subsequent investigations are to be placed immediately into laboratory prepared glass jars with Teflon lid inserts. Standard identification labels are to be adhered to each individual container and labelled according to depth, date, sampling team and media collected.

### **9.3 Decontamination**

All equipment used in the sampling program is to be decontaminated prior to use and between samples to prevent cross contamination. Decontamination of equipment involved the following procedures:

- Cleaning equipment in potable water to remove gross contamination;
- Cleaning in a solution of Decon 90;
- Rinsing in clean demineralised water then wiping with clean lint free cloths;

Foundation Earth Sciences will also adopt a sampling gradient of lowest to highest potential contamination to minimise the impact of cross contamination. This gradient is determined from the historical review and the on-site inspection to be carried out prior to sampling.

Although Foundation Earth Sciences maintains consistent sampling procedures, a rinsate sample is obtained to ensure false positive samples are not generated and that decontamination procedures are effective in preventing cross contamination. The Rinsate water is collected after being in contact generally with the trowel used for sampling. Analytical results that target the contaminants of concern are compared to a blank sample, which is taken directly from the rinsate water container supplied by the laboratory.

#### **9.4 Sample Tracking, Identification and Holding Times**

All samples are to be forwarded to Envirolab under recognised chain of custodies with clear identification outlining the date, location, sampler and sample ID. All samples are to be recorded by the laboratory as meeting their respective holding times. The sample tracking system is considered adequate for the purposes of sample collection.

#### **9.5 Sample Transport**

All samples are to be packed into an esky with ice from the time of collection. A trip blank and trip spike are collected where appropriate. These were transported under chain of custody from the site to Envirolab Pty Ltd, a NATA registered laboratory.

Samples are too kept below 4°C at all times, soil samples submitted for asbestos analysis are not required to be kept below 4°C.

#### **9.6 Trip Spike**

Trip Spike samples are to be obtained from the laboratory prior to conducting field sampling where volatile substances are suspected. Foundation Earth Sciences QA/QC procedures for the collection of environmental samples involves the collection of trip blanks, trip spikes and duplicate samples both intra and inter laboratory.



## **9.7 Trip Blank**

A trip blank is to accompany the sampling for the sampling process and is not separated from the sample collection and transportation process. The purpose of the trip blank is to identify whether cross-contamination is occurring during the sample collection and transport process.

## **9.8 Laboratory QA/QC**

The integrity of analytical data provides the second step in the QA/QC process for total data compliance. The data validation techniques adopted by Foundation Earth Sciences are based upon techniques published by the US EPA and in line with methods and guidelines adopted by the NSW EPA and outlined in the NEPM, 2013.

Descriptions are provided of the specific mechanisms used in the assessment of accuracy, precision and useability of analytical data within the project.

## **10.0 SITE ASSESSMENT CRITERIA**

### **10.1 SOILS**

#### **10.1.1 Health Investigation Levels (HILs)**


To assess the contamination status of soils at a site, the NSW EPA refers to the document entitled National Environmental Protection (Assessment of Site Contamination) Measure (NEPM) (Amendment 2013).

During any future soil investigations, the site will be assessed against the NEPM exposure scenario 'Residential B' Health Investigation Levels of the above-mentioned guidelines and specifically refers to the following:

*HIL 'B' Residential with minimal opportunities for soil access, includes dwellings with fully and permanently paved yard space such as high-rise buildings and flats*

The soil regulatory guidelines are presented in the table below.

**Table 9: Health Investigation Levels (HIL) Criteria for Soil Contaminants**

 <b>FOUNDATION EARTH SCIENCES</b>	<b>Residential B</b>	<b>Reference</b>
<b>Heavy Metals</b>		
Arsenic	500	NEPM 2013 - Table 1(A)1 HILs
Beryllium	90	NEPM 2013 - Table 1(A)1 HILs
Boron	40000	NEPM 2013 - Table 1(A)1 HILs
Cadmium	150	NEPM 2013 - Table 1(A)1 HILs
Chromium (VI)	500	NEPM 2013 - Table 1(A)1 HILs
Cobalt	600	NEPM 2013 - Table 1(A)1 HILs
Copper	30000	NEPM 2013 - Table 1(A)1 HILs
Lead	1200	NEPM 2013 - Table 1(A)1 HILs
Manganese	14000	NEPM 2013 - Table 1(A)1 HILs
Mercury (Inorganic)	120	NEPM 2013 - Table 1(A)1 HILs
Methyl Mercury	30	NEPM 2013 - Table 1(A)1 HILs
Nickel	1200	NEPM 2013 - Table 1(A)1 HILs
Selenium	1400	NEPM 2013 - Table 1(A)1 HILs
Zinc	60000	NEPM 2013 - Table 1(A)1 HILs
Cyanide (Free)	300	NEPM 2013 - Table 1(A)1 HILs
<b>Polycyclic Aromatic Hydrocarbons (PAHs)</b>		
Carcinogenic PAHs (as Bap TEQ)	4	NEPM 2013 - Table 1(A)1 HILs
Total PAHs	400	NEPM 2013 - Table 1(A)1 HILs
<b>Organochlorine Pesticides</b>		
DDT + DDE + DDD	600	NEPM 2013 - Table 1(A)1 HILs
Aldrin + Dieldrin	10	NEPM 2013 - Table 1(A)1 HILs
Chlordane	90	NEPM 2013 - Table 1(A)1 HILs
Endosulfan	400	NEPM 2013 - Table 1(A)1 HILs
Endrin	20	NEPM 2013 - Table 1(A)1 HILs
Heptachlor	10	NEPM 2013 - Table 1(A)1 HILs
HCB	15	NEPM 2013 - Table 1(A)1 HILs
Methoxychlor	500	NEPM 2013 - Table 1(A)1 HILs
Mirex	20	NEPM 2013 - Table 1(A)1 HILs
Toxaphene	30	NEPM 2013 - Table 1(A)1 HILs
<b>Polychlorinated Biphenyls (PCBs)</b>		
PCBs	1	NEPM 2013 - Table 1(A)1 HILs
<b>Other Organics</b>		
PDBE (Br1-Br9)	2	NEPM 2013 - Table 1(A)1 HILs


Note - All values are in mg/kg

## 10.2 Health Screening Levels (HSLs)

The HSLs are applicable to generic land uses such as residential, commercial/industrial or recreational/public open space and different soil types between the ground surface and soils >4 metres below ground level. The HSLs have been applied to assess human health risks via the inhalation and direct contact pathways of exposure.

It should be noted that HSL D can be used in lieu of HSL B for buildings that comprise car parks or commercial properties on the ground floor. For selection of the health screening criteria an assessment of the in-situ soil profile should be undertaken.

**Table 10: Health Screening Levels (HSL) Criteria**

	HSL A & HSL B	HSL A & HSL B	HSL A & HSL B	HSL A & HSL B	Soil Saturation Concentration (Csat)	Reference
	0m to <1m	1m to <2m	2m to <4m	4m+		
SAND						
Toluene	160	220	310	540	560	NEPM 2013 - Table 1(A) 3 HSLs
Ethylbenzene	55	NL	NL	NL	64	NEPM 2013 - Table 1(A) 3 HSLs
Xylenes	40	60	95	170	300	NEPM 2013 - Table 1(A) 3 HSLs
Naphthalene	3	NL	NL	NL	9	NEPM 2013 - Table 1(A) 3 HSLs
Benzene	0.5	0.5	0.5	0.5	360	NEPM 2013 - Table 1(A) 3 HSLs
F1	45	70	110	200	950	NEPM 2013 - Table 1(A) 3 HSLs
F2	110	240	440	NL	560	NEPM 2013 - Table 1(A) 3 HSLs
SILT						
Toluene	480	NL	NL	NL	640	NEPM 2013 - Table 1(A) 3 HSLs
Ethylbenzene	NL	NL	NL	NL	69	NEPM 2013 - Table 1(A) 3 HSLs
Xylenes	110	310	NL	NL	330	NEPM 2013 - Table 1(A) 3 HSLs
Naphthalene	5	NL	NL	NL	10	NEPM 2013 - Table 1(A) 3 HSLs
Benzene	0.7	1	2	3	440	NEPM 2013 - Table 1(A) 3 HSLs
F1	50	90	150	290	910	NEPM 2013 - Table 1(A) 3 HSLs
F2	280	NL	NL	NL	570	NEPM 2013 - Table 1(A) 3 HSLs
CLAY						
Toluene	480	NL	NL	NL	630	NEPM 2013 - Table 1(A) 3 HSLs
Ethylbenzene	NL	NL	NL	NL	68	NEPM 2013 - Table 1(A) 3 HSLs
Xylenes	110	310	NL	NL	330	NEPM 2013 - Table 1(A) 3 HSLs
Naphthalene	5	NL	NL	NL	10	NEPM 2013 - Table 1(A) 3 HSLs
Benzene	0.7	1	2	3	430	NEPM 2013 - Table 1(A) 3 HSLs
F1	50	90	150	290	850	NEPM 2013 - Table 1(A) 3 HSLs
F2	280	NL	NL	NL	560	NEPM 2013 - Table 1(A) 3 HSLs

Note - All values are in mg/kg

### **10.3 (EILs) and (ESLs)**

#### ***Ecological Investigation Levels (EILs) -***

The NEPM 2013 states that "Ecological Investigation Levels" (EILs) for the protection of terrestrial ecosystems have been derived for common contaminants in soil based on a species sensitivity distribution (SSD) model developed for Australian conditions. EILs have been derived for As, Cu, CrIII, DDT, naphthalene, Ni, Pb and Zn.

Insufficient data was available to derive ACLs for arsenic (As), DDT, lead (Pb) and naphthalene. As a result, the derived EILs are generic to all soils and are presented as total soil contaminant concentrations in Tables 1B (4) and 1B (5) within the NEPM 2013.

For the purposes of EIL derivation, a contaminant incorporated in soil for at least two years is considered to be aged for the purpose of EIL derivation. The majority of contaminated sites are likely to be affected by aged contamination. Fresh contamination is usually associated with current industrial activity and chemical spills".

The following process describes the method for calculation of site specific EILs.

#### **A. EILs for Ni, Cr III, Cu, Zn and Pb aged contamination (>2 years)**

Steps 1–4 below describe the process for deriving site-specific EILs for the above elements using Tables 1B (1) – 1B (4), which can be found at the end of the NEPM 2013.

1. Measure or analyse the soil properties relevant to the potential contaminant of concern (pH, CEC, organic carbon, clay content). Sufficient samples need to be taken for these determinations to obtain representative values for each soil type in which the contaminant occurs.

2. Establish the sample ACL for the appropriate land use and with consideration of the soil-specific pH, clay content or CEC. The ACL for Cu may be determined by pH or CEC and the lower of the determined values should be selected for EIL calculation. Note that the ACL for Pb is taken directly from Table 1(B) 4.
3. Calculate the contaminant ABC in soil for the particular contaminant and location from a suitable reference site measurement or other appropriate method.
4. Calculate the EIL by summing the ACL and ABC:

$$\text{EIL} = \text{ABC} + \text{ACL}$$

#### ***B. EILs for As, DDT and naphthalene***

EILs for aged contamination for DDT and naphthalene are not available and the adopted EIL is based on fresh contamination taken directly from Table 1B (5). The EILs for As, DDT and naphthalene are generic i.e. they are not dependent on soil type and are taken directly from Table 1B (5). Only EILs for fresh contamination are available for As, DDT and naphthalene due to the absence of suitable data for aged contaminants.

#### ***Ecological Screening Levels (ESLs) -***

Ecological screening levels (ESLs) are presented based on a review of Canadian guidance for petroleum hydrocarbons in soil and application of the Australian methodology (Schedule B5b) to derive Tier 1 ESLs for BTEX, benzo(a)pyrene and F1 and F2 (Warne 2010a, 2010b)

The Canadian Council of the Ministers of the Environment (CCME) has adopted risk-based TPH standards for human health and ecological aspects for various land uses in the *Canada-wide standard for petroleum hydrocarbons (PHC) in soil* (CCME 2008) (CWS PHC). The standards established soil values including ecologically based criteria for sites affected by TPH contamination for coarse- and fine-grained soil types.

**Table 11: Ecological Investigation Levels (EIL) and Ecological Screening Levels (ESL) Criteria**

FOUNDATION EARTH SCIENCES		Contaminant Age/Soil Texture	National parks and areas of high conservation value	Urban residential and open public spaces	Commercial and industrial	Reference
Ecological Investigation Levels (ELLs)						
Heavy Metals						
Arsenic	Fresh	20	50	80	NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged	40	100	160	NEPM 2013 - Table 1(B) 1-5 EILs	
Chromium (III)	Fresh	Site Specific Calculation Required			NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged				NEPM 2013 - Table 1(B) 1-5 EILs	
Copper	Fresh	Site Specific Calculation Required			NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged				NEPM 2013 - Table 1(B) 1-5 EILs	
Lead	Fresh	110	270	440	NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged	470	1100	1800	NEPM 2013 - Table 1(B) 1-5 EILs	
Nickel	Fresh	Site Specific Calculation Required			NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged				NEPM 2013 - Table 1(B) 1-5 EILs	
Zinc	Fresh	Site Specific Calculation Required			NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged				NEPM 2013 - Table 1(B) 1-5 EILs	
Polycyclic Aromatic Hydrocarbons (PAHs)						
Naphthalene	Fresh	10	170	370	NEPM 2013 - Table 1(B) 1-5 EILs	
	Aged	10	170	370	NEPM 2013 - Table 1(B) 1-5 EILs	
Organochlorine Pesticides						
Ecological Screening Levels (ESLs) and Management Limits						
F1 (C <sub>9</sub> -C <sub>10</sub> )	Coarse	125*	180*	215*	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F1 (C <sub>9</sub> -C <sub>10</sub> ) (Management Limits)	Coarse	-	700	700	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F2 (>C <sub>10</sub> -C <sub>16</sub> )	Coarse	25*	120*	170*	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F2 (>C <sub>10</sub> -C <sub>16</sub> ) (Management Limits)	Coarse	-	1000	1000	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F3 (>C <sub>16</sub> -C <sub>34</sub> )	Coarse	-	300	1700	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F3 (>C <sub>16</sub> -C <sub>34</sub> ) (Management Limits)	Coarse	-	2500	3500	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F4 (>C <sub>34</sub> -C <sub>40</sub> )	Coarse	-	2800	3300	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
F4 (>C <sub>34</sub> -C <sub>40</sub> ) (Management Limits)	Coarse	-	5600	6600	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine				NEPM 2013 - Table 1(B) 6-7 EILs	
Benzene	Coarse	10	50	75	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine	10	65	95	NEPM 2013 - Table 1(B) 6-7 EILs	
Toluene	Coarse	10	85	135	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine	65	105	135	NEPM 2013 - Table 1(B) 6-7 EILs	
Ethylbenzene	Coarse	1.5	70	165	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine	40	125	185	NEPM 2013 - Table 1(B) 6-7 EILs	
Xylenes	Coarse	10	105	180	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine	1.6	45	95	NEPM 2013 - Table 1(B) 6-7 EILs	
Benzo(a)pyrene	Coarse	0.7	0.7	0.7	NEPM 2013 - Table 1(B) 6-7 EILs	
	Fine	0.7	0.7	0.7	NEPM 2013 - Table 1(B) 6-7 EILs	

**Notes**

- Urban residential/public open space is broadly equivalent to the HIL-A, HIL-B and HIL-C land use scenarios in Table 1A(1) Footnote 1 and as described in Schedule B7.
- Aged values are applicable to arsenic contamination present in soil for at least two years. For fresh contamination refer to Schedule B5C.
- Insufficient data was available to calculate aged values for DDT and naphthalene, consequently the values for fresh contamination should be used.
- Insufficient data was available to calculate ACLs for As, DDT and naphthalene. The EIL should be taken directly from Table 1B(5).
- ESLs are of low reliability except where indicated by \* which indicates that the ESL is of moderate reliability.
- “-” indicates that insufficient data was available to derive a value.
- To obtain F1, subtract the sum of BTEX concentrations from C6-C10 fraction and subtract naphthalene from >C10-C16 to obtain F2.
- Management limits are applied after consideration of relevant ESLs and HSLs
- Separate management limits for BTEX and naphthalene are not available hence these should not be subtracted from the relevant fractions to obtain F1 and F2.

## 10.4 Asbestos

**Table 12: Health Screening Levels for Asbestos**

	Health Screening Levels (w/w)			
Form of Asbestos	Residential A	Residential B	Recreational C	Commercial/Industrial D
Bonded ACM	0.01%	0.04%	0.02%	0.05%
FA and AF (Friable Asbestos)	0.001%			
All forms of asbestos	No visible asbestos for surface soil			

## 10.5 Aesthetic Considerations

Schedule B1 in NEPC (2013) requires the consideration of aesthetic issues arising from soils and groundwater within the site. The following assessment criteria are to be adopted when considering aesthetics:

- no persistently malodourous soils or extracted groundwater;
- no persistent hydrocarbon sheen on surface water;
- no staining or discolouration in soils, taking into consideration the natural state of the soil; and
- no large or frequently occurring anthropogenic materials present (to the extent practicable).



## **11.0 DISCUSSION**

### **11.1 SOILS**

A number of potential areas of environmental concerns were identified at the site, particularly:

- Historical and current uses (Club, restaurant, residential, power substation and car park);
- Surrounding land uses including laundry service, service station and dry cleaners;
- Electrical substation;
- Imported fill of unknown quality or origin;
- Carpark areas / driveways where leaks and spills from cars may have occurred;
- degrading building features;

Founded on the investigation including the proposed land use, previous site history, underground services plans, land title information & site inspection, the potential for significant soil and/or groundwater impact is considered a moderate risk. In applying the NEPM 2013 Schedule B2 "Guideline on Site Characterisation"; there is sufficient evidence, uncertainty and/ or suspicion of contamination, therefore further investigation is recommended.

### **11.2 DATA GAPS**

The following data gaps were identified:

- The soil and groundwater quality at the site have not been investigated.
- The SafeWork NSW records have not been searched and/or records received at the time of writing this report.

## 12.0 CONCLUSION AND RECOMMENDATION

Based on the results of this investigation it is considered that the risks to human health and the environment associated with soil and groundwater contamination at the site are moderate in the context of the proposed use of the site. The site ***can be made suitable*** for the proposed development, subject to the following recommendations:

- Preparation of a Detailed Site Investigation (Phase 2 Environmental Site assessment) by a suitably qualified Environmental Consultant.
- A hazardous materials assessment is recommended to be completed prior to the demolition of the site.
- Any soil requiring removal from the site, as part of future site works, should be classified in accordance with the “Waste Classification Guidelines, Part 1: Classifying Waste” NSW EPA (2014).

If during any potential site works any significant unexpected occurrence is identified, site works should cease in that area, at least temporarily, and the environmental consultant should be notified immediately to set up a response to this unexpected occurrence.

Thank you for the opportunity of undertaking this work. We would be pleased to provide further information on any aspects of this report.

## **13.0 LIMITATIONS**

To the best of our knowledge information contained in this report is accurate at the date of issue, however, subsurface conditions, including groundwater levels and contaminant concentrations, can change in a limited time. This should be borne in mind if the report is used after a protracted delay.

There is always some disparity in subsurface conditions across a site that cannot be fully defined by investigation. Hence it is unlikely that measurements and values obtained from sampling and testing during environmental works carried out at a site will characterise the extremes of conditions that exist within the site.

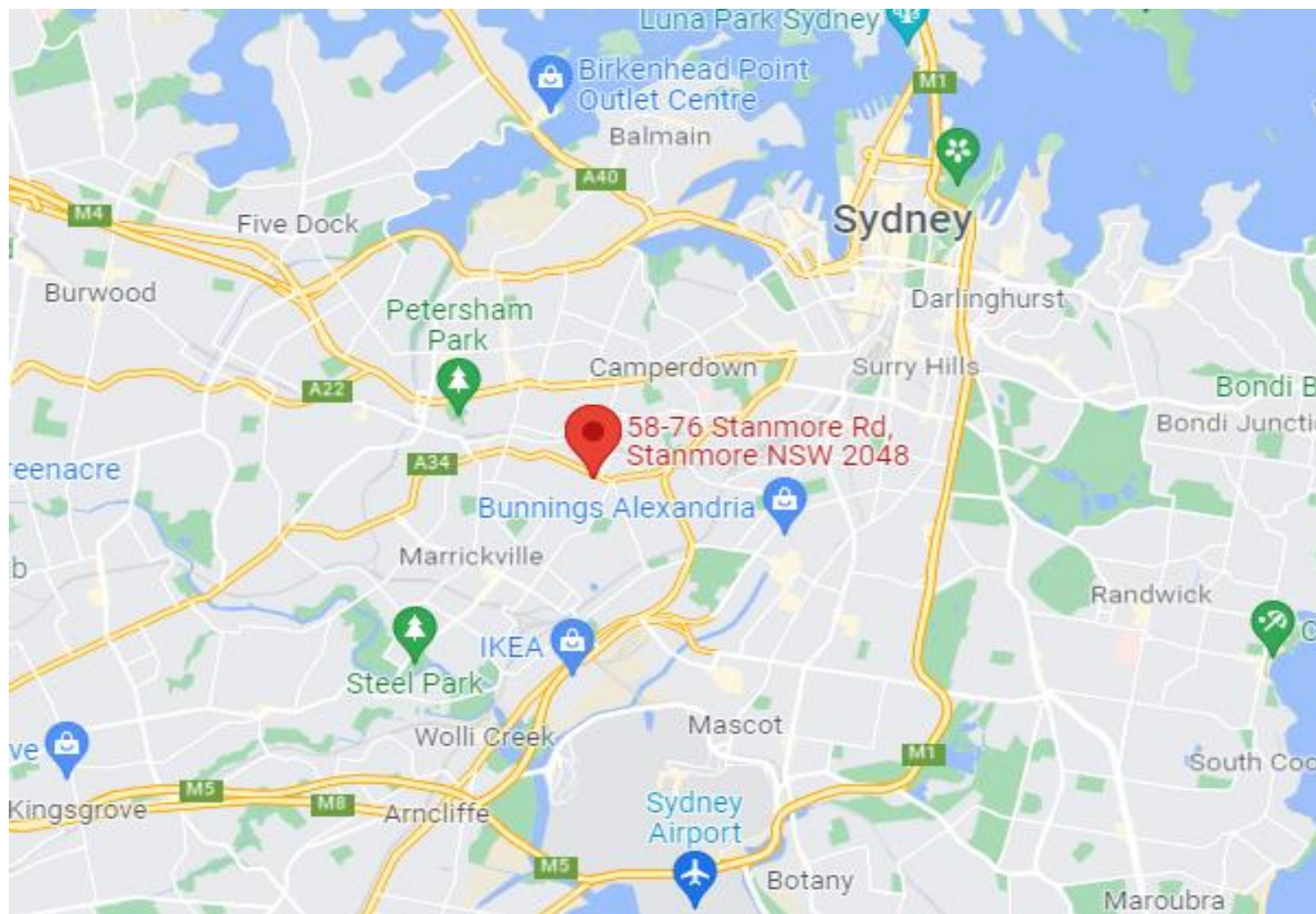
There is no investigation that is thorough enough to preclude the presence of material that presently or in the future, may be considered hazardous at the site. Since regulatory criteria are constantly changing, concentrations of contaminants presently considered low may, in the future, fall under different regulatory standards that require remediation.

Opinions expressed herein are judgements and are based on our understanding and interpretation of current regulatory standards and should not be construed as legal opinions.

## REFERENCES

- ANZG Australian and New Zealand Guidelines for Fresh and Marine Water Quality (2018).
- Department of Urban Affairs and Planning – EPA (1998) *“Managing Land Contamination – Planning Guidelines – SEPP 55 – Remediation of Land”*.
- HEPA 2020, ‘PFAS National Environmental Management Plan’, Version 2, 2020.
- National Environmental Protection Council (NEPC) (1999) – *National Environmental Protection (Assessment of Site Contamination) Measure. Amendment 2013*
- NSW EPA (2014) *“Technical Note: Investigation of Service Station Sites”*.
- NSW EPA (2009) *“Guidelines on Significant Risk of Harm from contaminated land and the duty to report”*.
- NSW EPA “Consultants Reporting on Contaminated Land” (2020). NSW Environment Protection Authority, Parramatta, April 2020.
- NSW DEC, “Guidelines for the Assessment and Management of Groundwater Contamination” (March 2007).
- NSW DEC “Guidelines for the NSW Site Auditor Scheme” (2006, 2<sup>nd</sup> edition). NSW Environment Protection Authority, Sydney.
- NSW EPA (2014) – “Waste Classification Guidelines, Part 1: Classifying Waste”;
- NSW EPA (2014) “Guidelines on the Duty to Report Contamination under the Contaminated Land Management Act 1997”;
- NSW EPA “Sampling Design Guidelines” (1995). NSW Environment Protection Authority, Sydney.

## **FIGURE 1: SITE LOCALITY**



#### Key

Site Location



DRAWN  
BY

FIGURE  
1

Job #

E2728

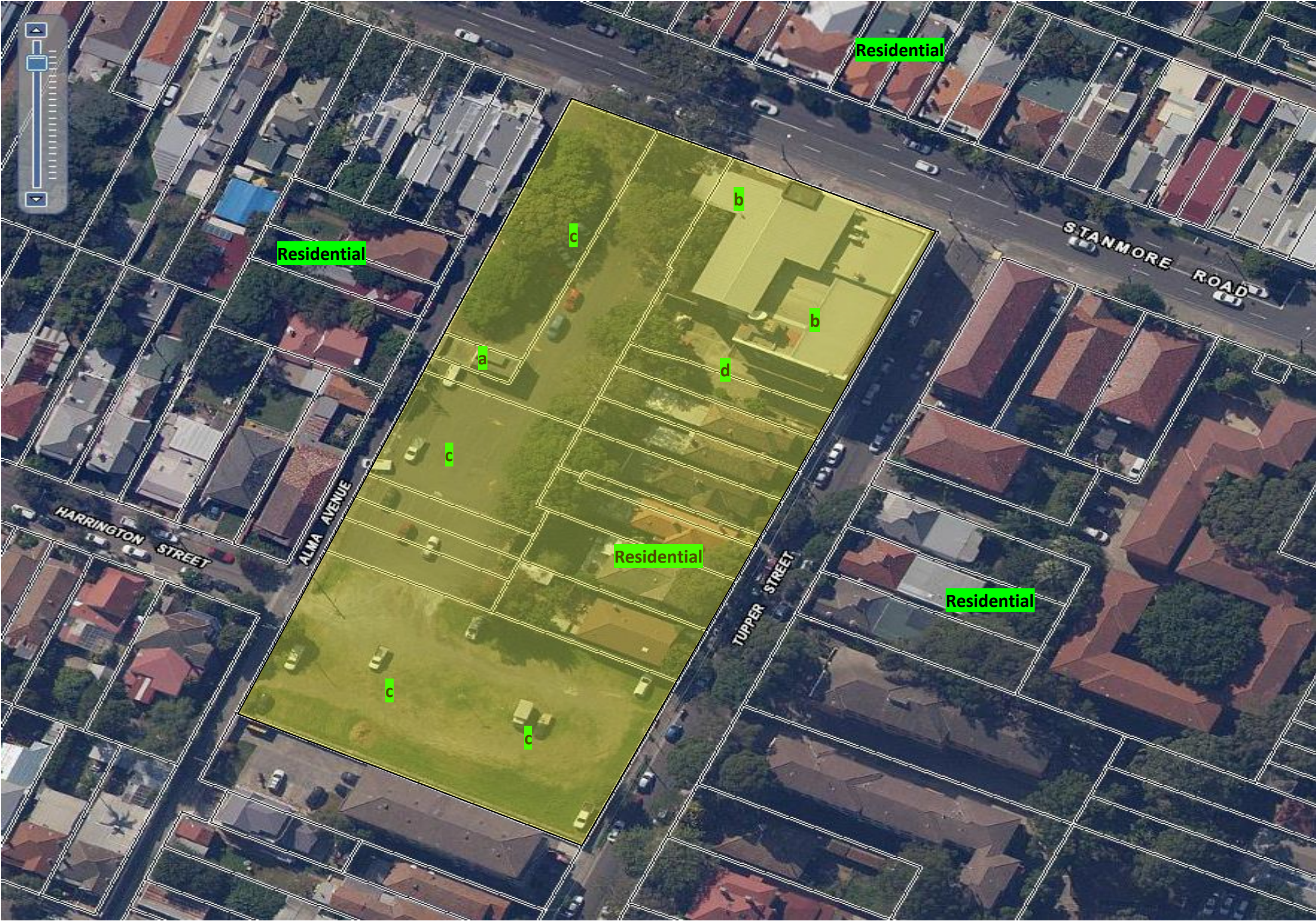
#### SITE LOCALITY

Platino Properties Pty Ltd



58-76 Stanmore Road, 2-20 Tuper Street & 1-9 Alma Street, Stanmore NSW

## **FIGURE 2:      SITE FEATURES PLAN**





Feature No	Details
a	Sub-station
b	Cyprus Club
c	Car Park Area
d	Loading Dock
e	Garage

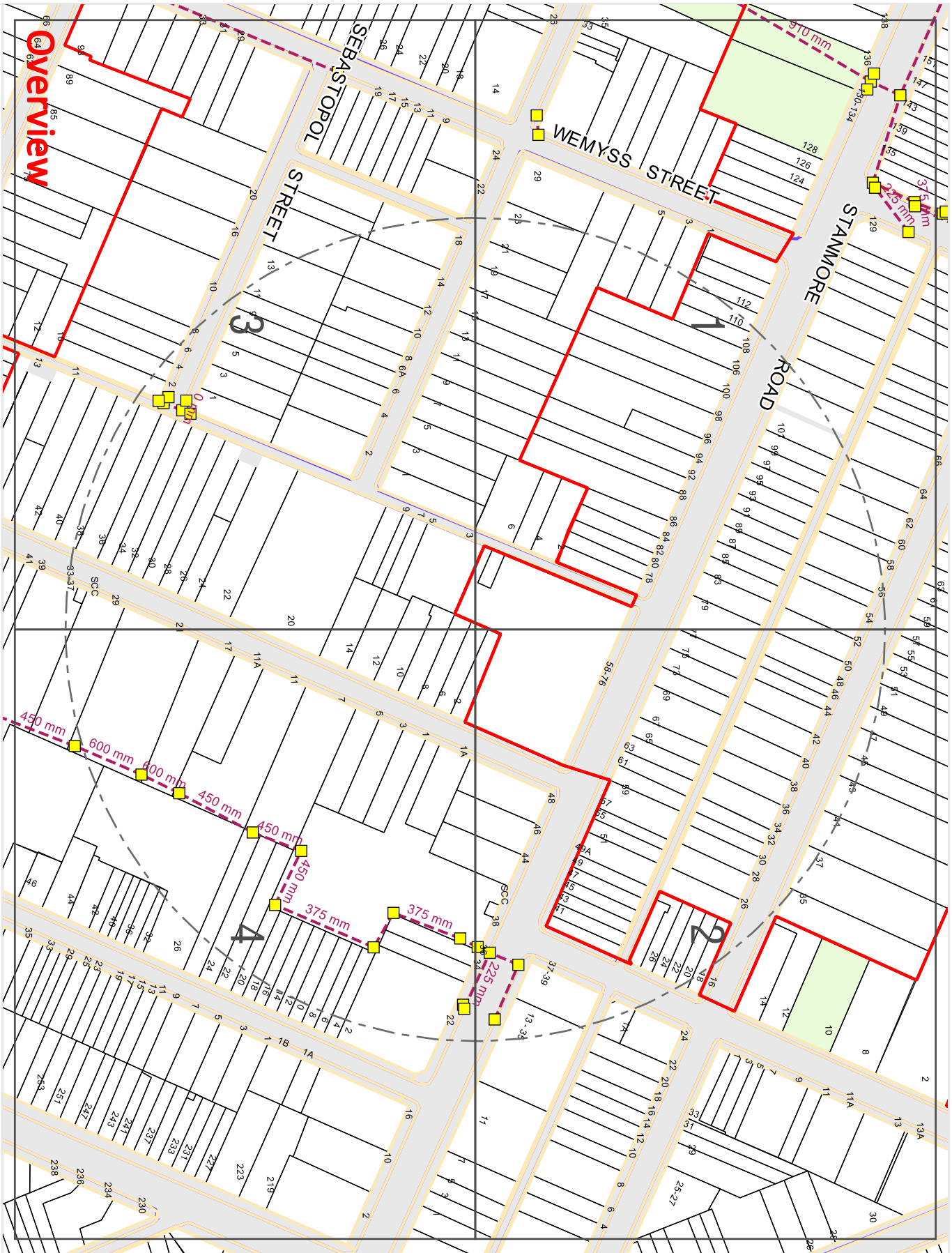
<b>Key</b>  Site Location	<b>Site Features Plan</b>		
		<b>DRAWN</b> EY	Platino Properties Pty Ltd
		<b>Figure</b> 2	
		<b>Job #</b> E2728	58-76 Stanmore Road, 2-20 Tupper Street & 1-9 Alma Street, Stanmore NSW



## **APPENDIX A: DBYD PLANS**

# INNER WEST

Sequence No: 20486693  
Job No: 30835228  
Location: 4 Tupper Street, Enmore, NSW 2042



Overview

- Legend**
- SW Pit
  - SW Pipe
  - Footpath
  - Kerb
  - Light Rail
  - Roads
  - Property
  - Suburb
  - Park
  - River

**Scale: 1:2050**  
**Expires: 02 Dec 2021**

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Inner West Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



Tile No: 1

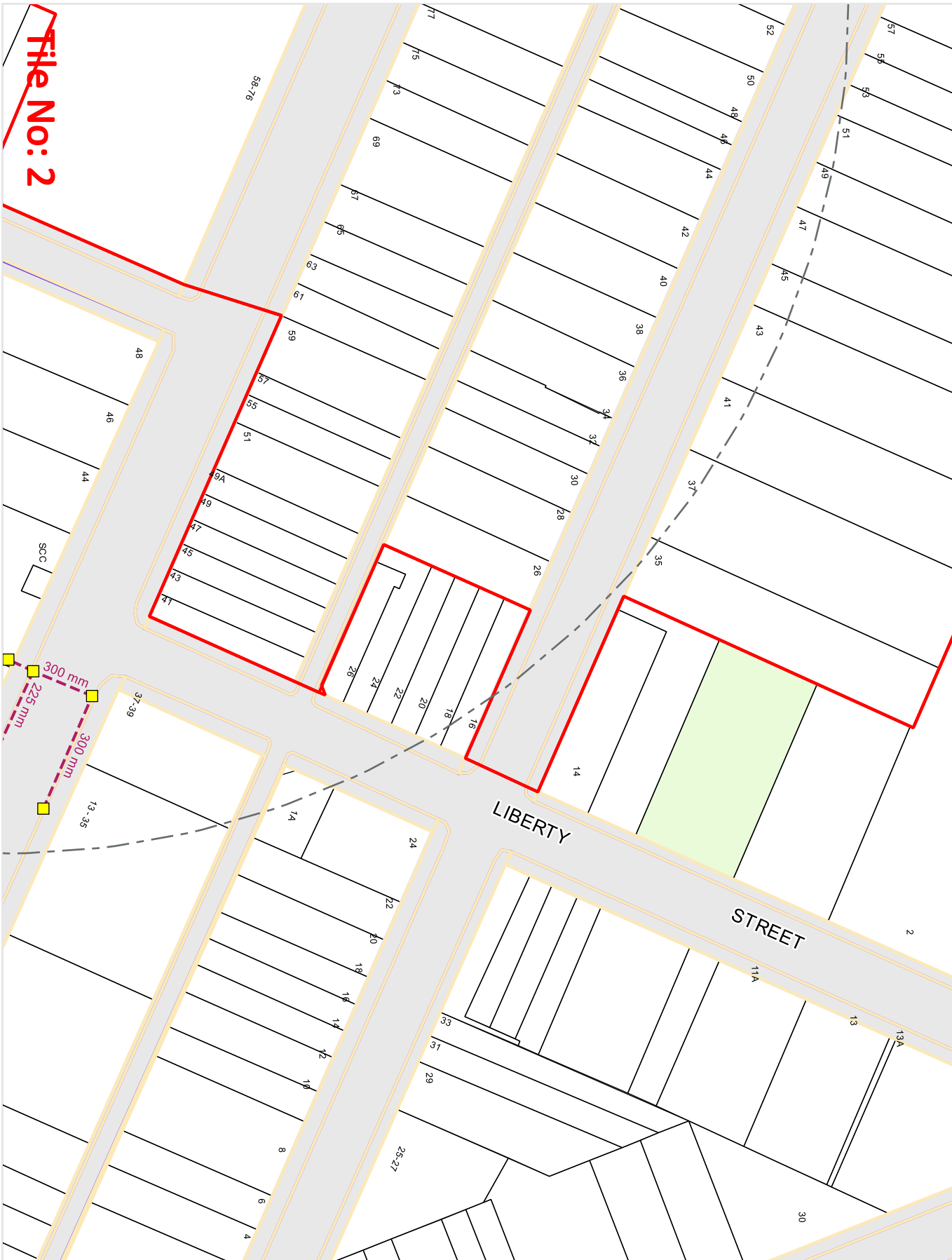
Legend

- SW Pit
- SW Pipe
- Footpath
- Kerb
- Light Rail
- Roads
- Property
- Suburb
- Park
- River



Scale: 1:1000  
Expires: 02 Dec 2021

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Legend

- SW Pit
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- Footpath
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- Property
- Suburb
- Park
- River



Scale: 1:1000  
Expires: 02 Dec 2021

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Legend

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- Roads
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- Suburb
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- River



Scale: 1:1000  
Expires: 02 Dec 2021

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Legend

- SW Pit
- SW Pipe
- Footpath
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- Roads
- Property
- Suburb
- Park
- River



Scale: 1:1000  
Expires: 02 Dec 2021

**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Inner West Council nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.



Sequence Number: 204869694

Date: 04/11/2021

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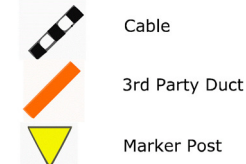


## LEGEND

### Digsite



### Assets





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Sequence Number: 204869698

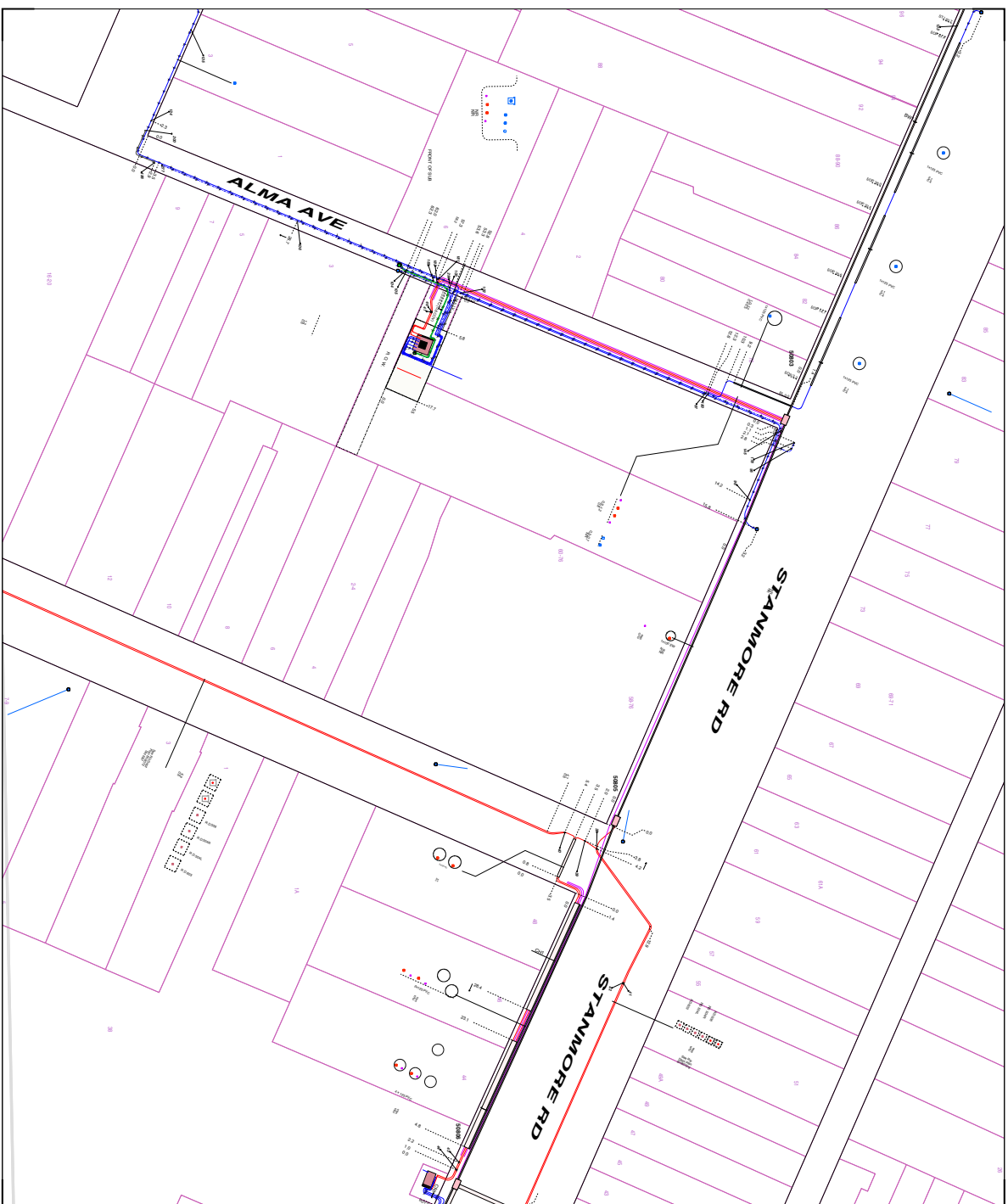
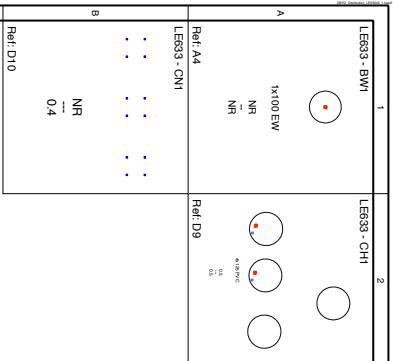
Date Generated: 04 Nov 2021



For all Optus DBYD plan enquiries –  
Email: [Fibre.Locations@optus.net.au](mailto:Fibre.Locations@optus.net.au)  
For urgent onsite assistance contact 1800 505 777  
Optus Limited ACN 052 833 208

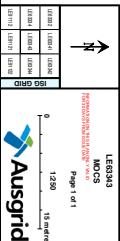


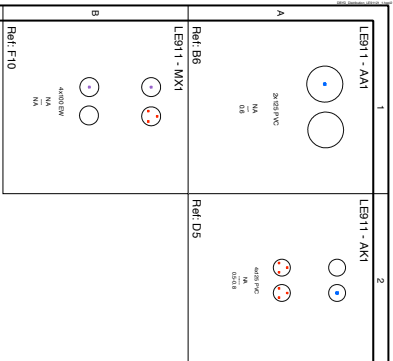




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1928	1928-12-31 Data, No. of Employees	0
1927	1927-12-31 Data, No. of Employees	0

**WARNING**  
Always tilt into snow the p  
inboard for sub-zero



[illegible]

**WARNING**  
Always tie up and secure the  
ladder before climbing.

[illegible]

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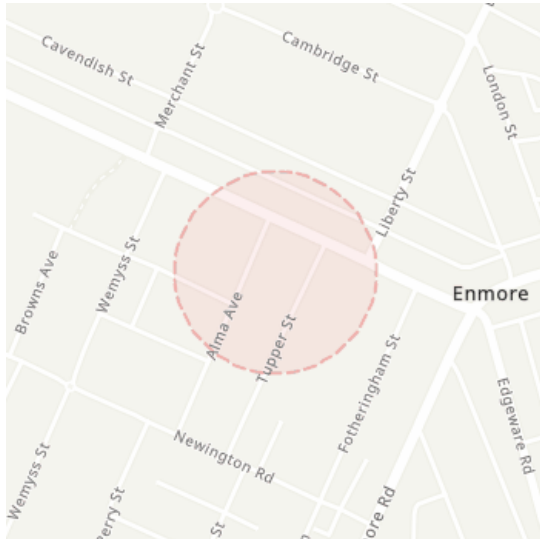


## Caller Details

**Contact:** Megan Trethewy  
**Company:** Foundation Earth Sciences  
**Address:**  
**Caller Id:** 3102600  
**Phone:** 0409 620 828  
**Email:** megan@foundationes.com.au

## Dig Site and Enquiry Details

**WARNING:** The map below only displays the location of the proposed dig site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.



**User Reference:** 4 Tupper Street  
**Working on Behalf of:** Other Environmental Consultant  
**Enquiry Date:** 04/11/2021  
**Start Date:** 05/11/2021  
**End Date:** 05/11/2021

**Address:**  
4 Tupper Street  
Enmore NSW 2042

**Job Purpose:**  
Excavation

**Location of Workplace:**  
Private

**Onsite Activities:**  
Vertical Boring

**Location in Road:**

- Check that the location of the dig site is correct. If not you must submit a new enquiry.
- Should the scope of works change, or plan validity dates expire, you must submit a new enquiry.
- Do NOT dig without plans. Safe excavation is your responsibility. If you do not understand the plans or how to proceed safely, please contact the relevant asset owners.

**Notes/Description of Works:**  
Not supplied

## Your Responsibilities and Duty of Care

- The lodgement of an enquiry does not authorise the project to commence. You must obtain all necessary information from any and all likely impacted asset owners prior to excavation.
- If plans are not received within 2 working days, contact the asset owners directly & quote their Sequence No.
- ALWAYS perform an onsite inspection for the presence of assets. Should you require an onsite location, contact the asset owners directly. Please remember, plans do not detail the exact location of assets.
- Pothole to establish the exact location of all underground assets using a hand shovel, before using heavy machinery.
- Ensure you adhere to any State legislative requirements regarding Duty of Care and safe digging requirements.
- If you damage an underground asset you MUST advise the asset owner immediately.
- By using this service, you agree to Privacy Policy and the terms and disclaimers set out at [www.1100.com.au](http://www.1100.com.au)
- For more information on safe excavation practices, visit [www.1100.com.au](http://www.1100.com.au)

## Asset Owner Details

The assets owners listed below have been requested to contact you with information about their asset locations within 2 working days. Additional time should be allowed for information issued by post. It is **your responsibility** to identify the presence of any underground assets in and around your proposed dig site. Please be aware, that not all asset owners are registered with the Dial Before You Dig service, so it is **your responsibility** to identify and contact any asset owners not listed here directly.

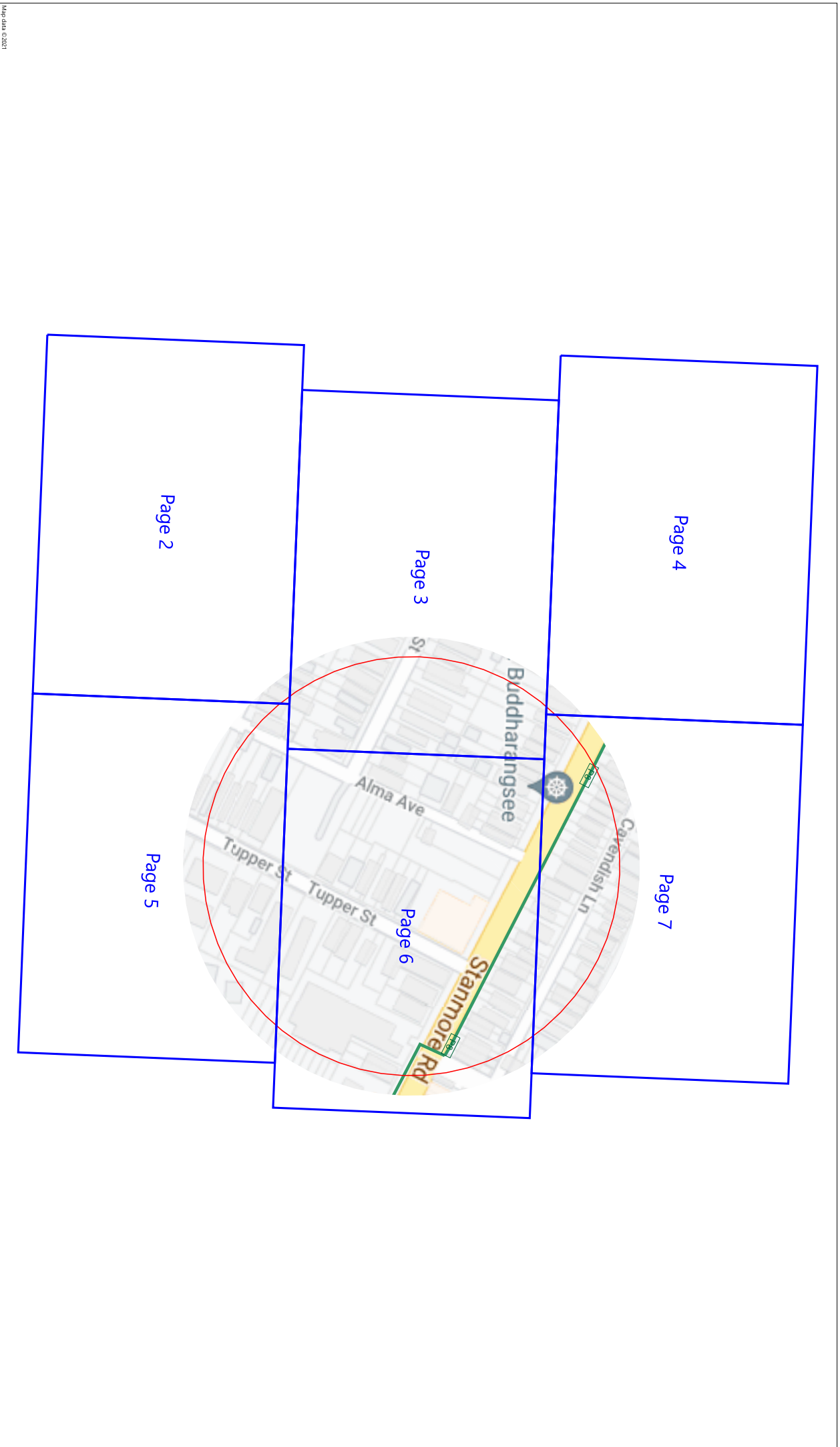
\*\* Asset owners highlighted by asterisks \*\* require that you visit their offices to collect plans.

# Asset owners highlighted with a hash # require that you call them to discuss your enquiry or to obtain plans.

Seq. No.	Authority Name	Phone	Status
204869695	Ausgrid	(02) 4951 0899	NOTIFIED
204869697	FibreconX Pty Ltd	0420 985 185	NOTIFIED
204869693	Inner West Council	(02) 9335 2053	NOTIFIED
204869699	Jemena Gas South	1300 880 906	NOTIFIED
204869691	NBN Co NswAct	1800 687 626	NOTIFIED
204869694	Nextgen NCC - NSW	1800 262 663	NOTIFIED
204869698	Optus and or Uecomm Nsw	1800 505 777	NOTIFIED
204869696	Sydney Trains Central	(02) 9848 9578	NOTIFIED
204869700	Sydney Water	13 20 92	NOTIFIED
204869692	Telstra NSW Central	1800 653 935	NOTIFIED
204869690	TPG Telecom (NSW)	1800 786 306	NOTIFIED

Seq. No.	Authority Name	Phone	Status
204869689	Transport for NSW	(02) 8837 0285	NOTIFIED

END OF UTILITIES LIST



Map data © 2021

Created: 04/11/2021 13:36:59

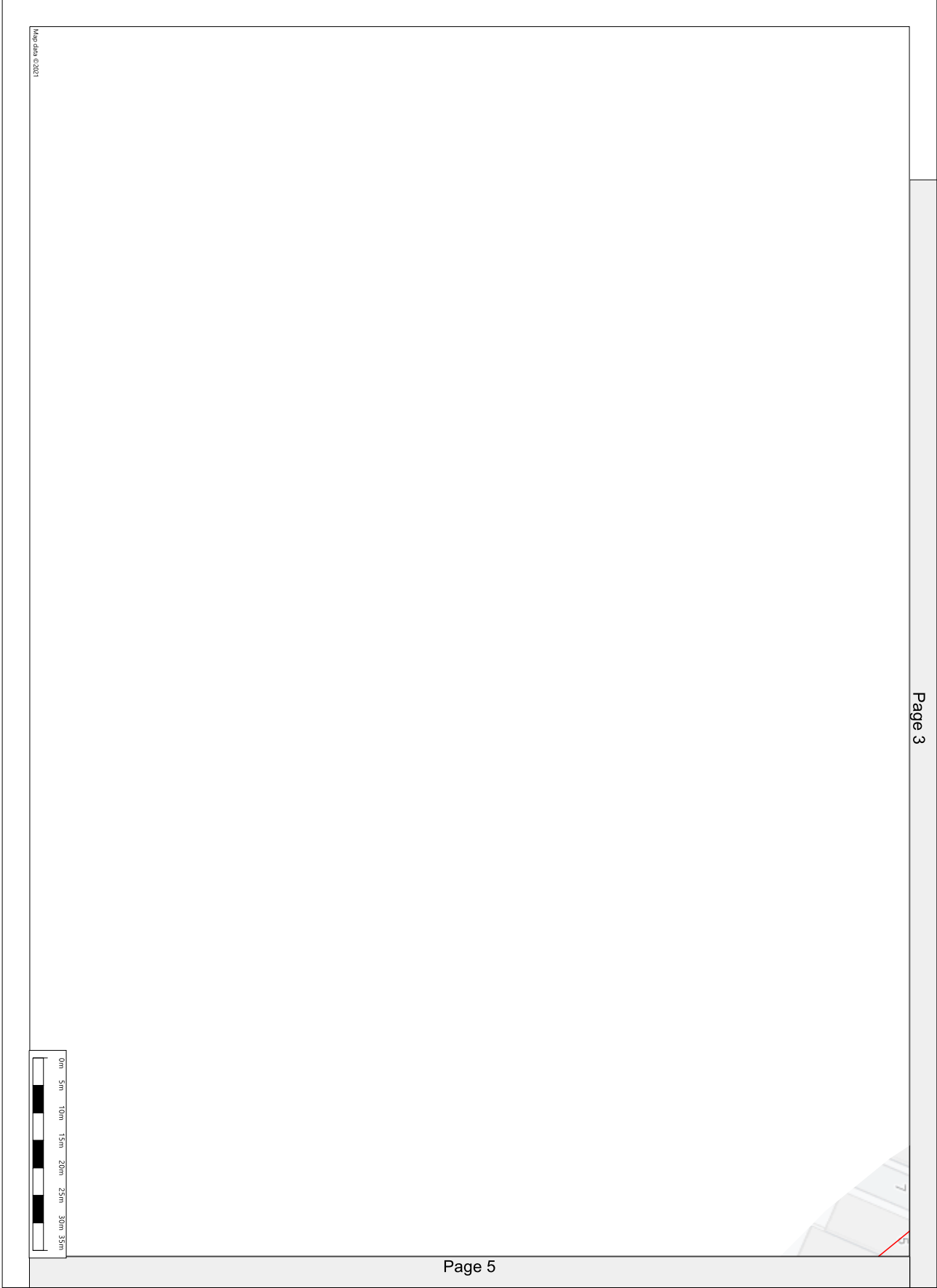
Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.



☐ Referral Area of Interest



Created: 04/11/2021 13:37:01

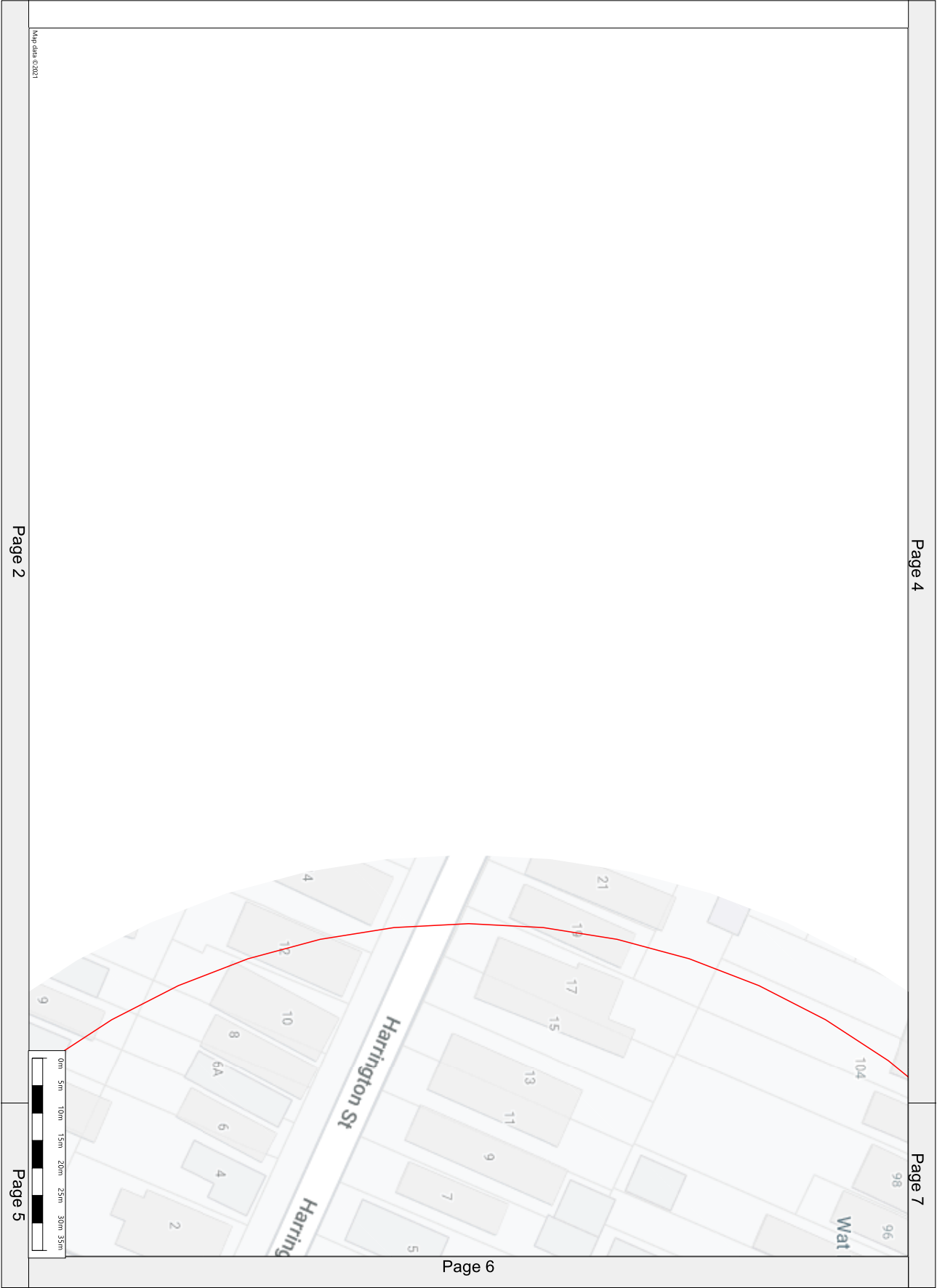
Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.



☐ Referral Area of Interest



Created: 04/11/2021 13:37:02

Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.

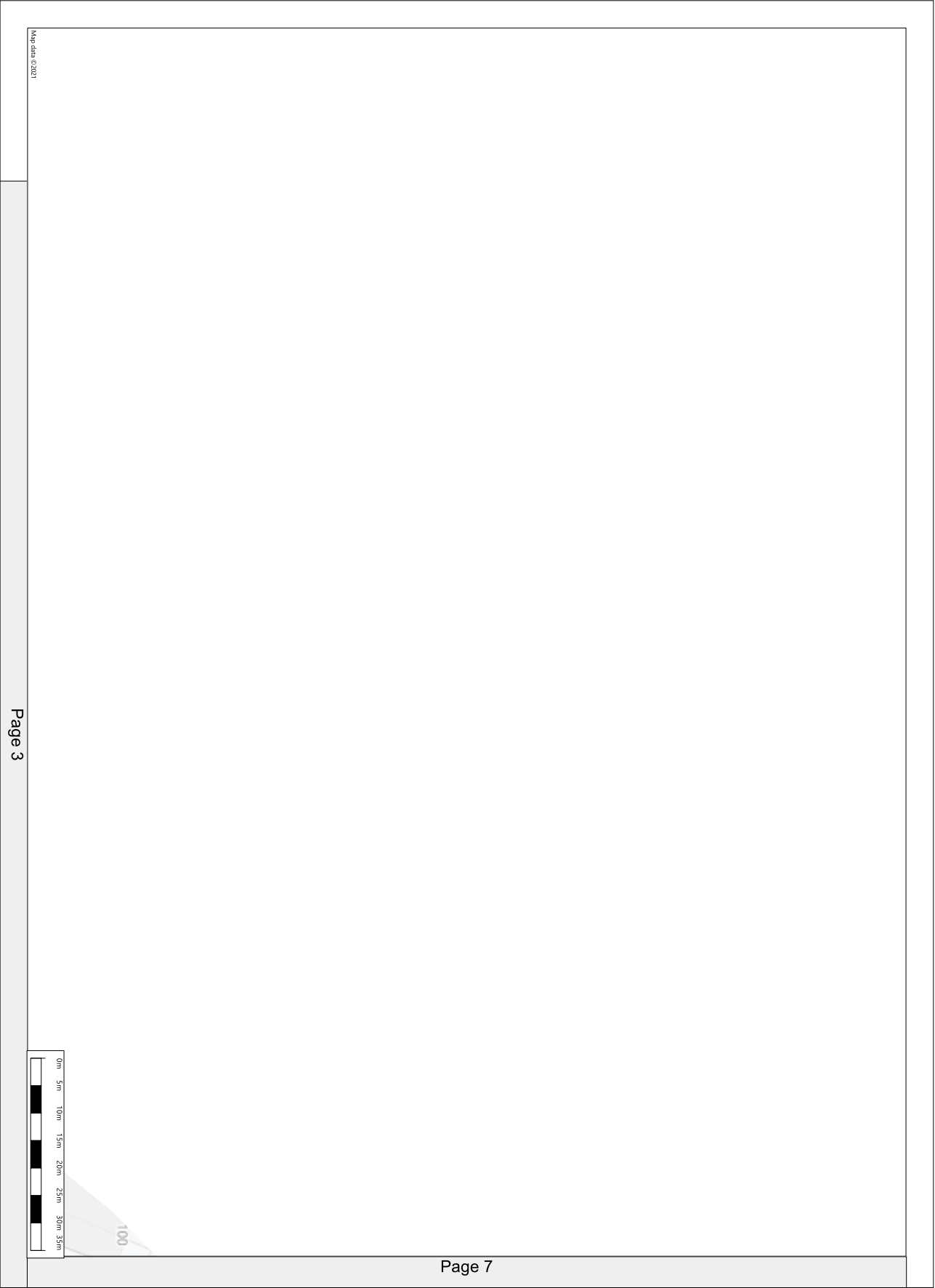


Page: 3 of 7

Scale: 1:1000



P8 FibreconX P8 Pit  
FibreconX Conduit  
Referral Area of Interest



Created: 04/11/2021 13:37:04

Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.



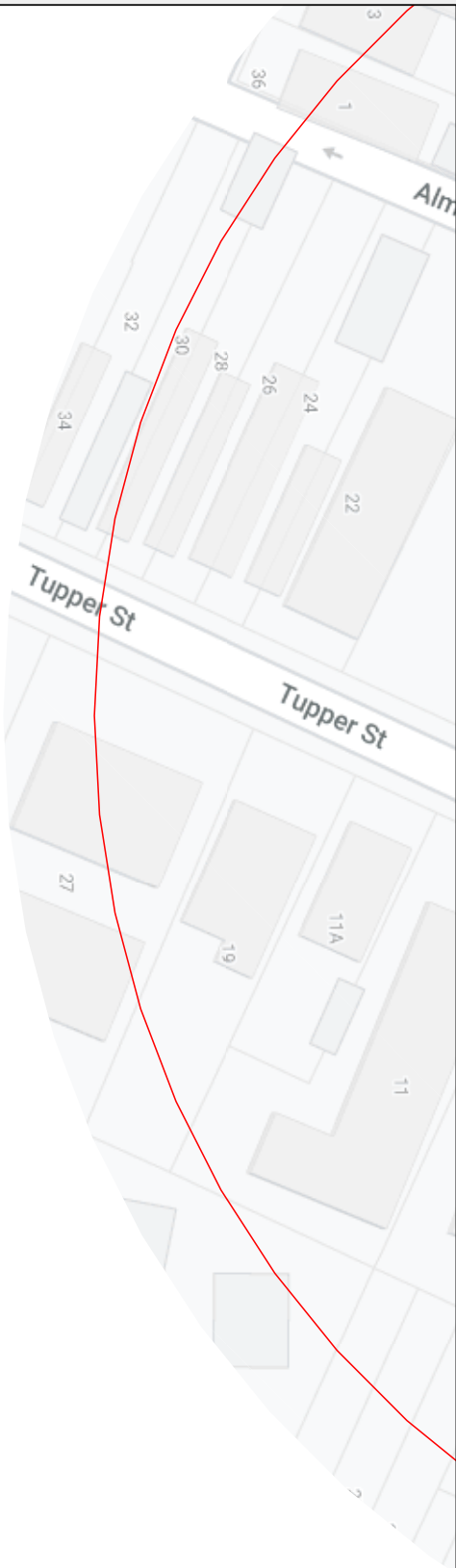
Page: 4 of 7

Scale: 1:1000





FibreconX Conduit  
Referral Area of Interest



Map data ©2021



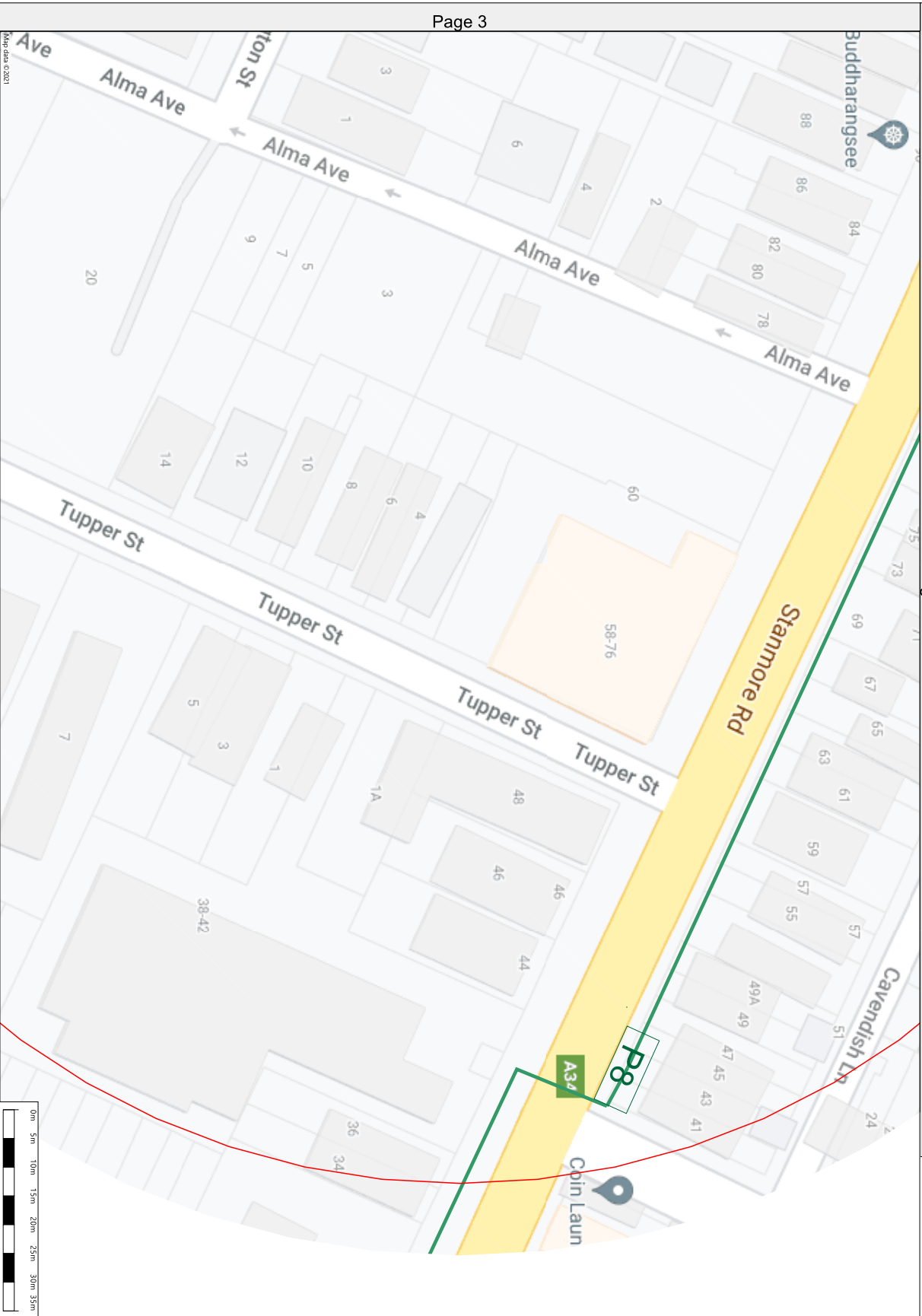
Created: 04/11/2021 13:37:06

Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.





- P8 FibreconX P8 Pit
- FibreconX Conduit
- Referral Area of Interest

Created: 04/11/2021 13:37:07

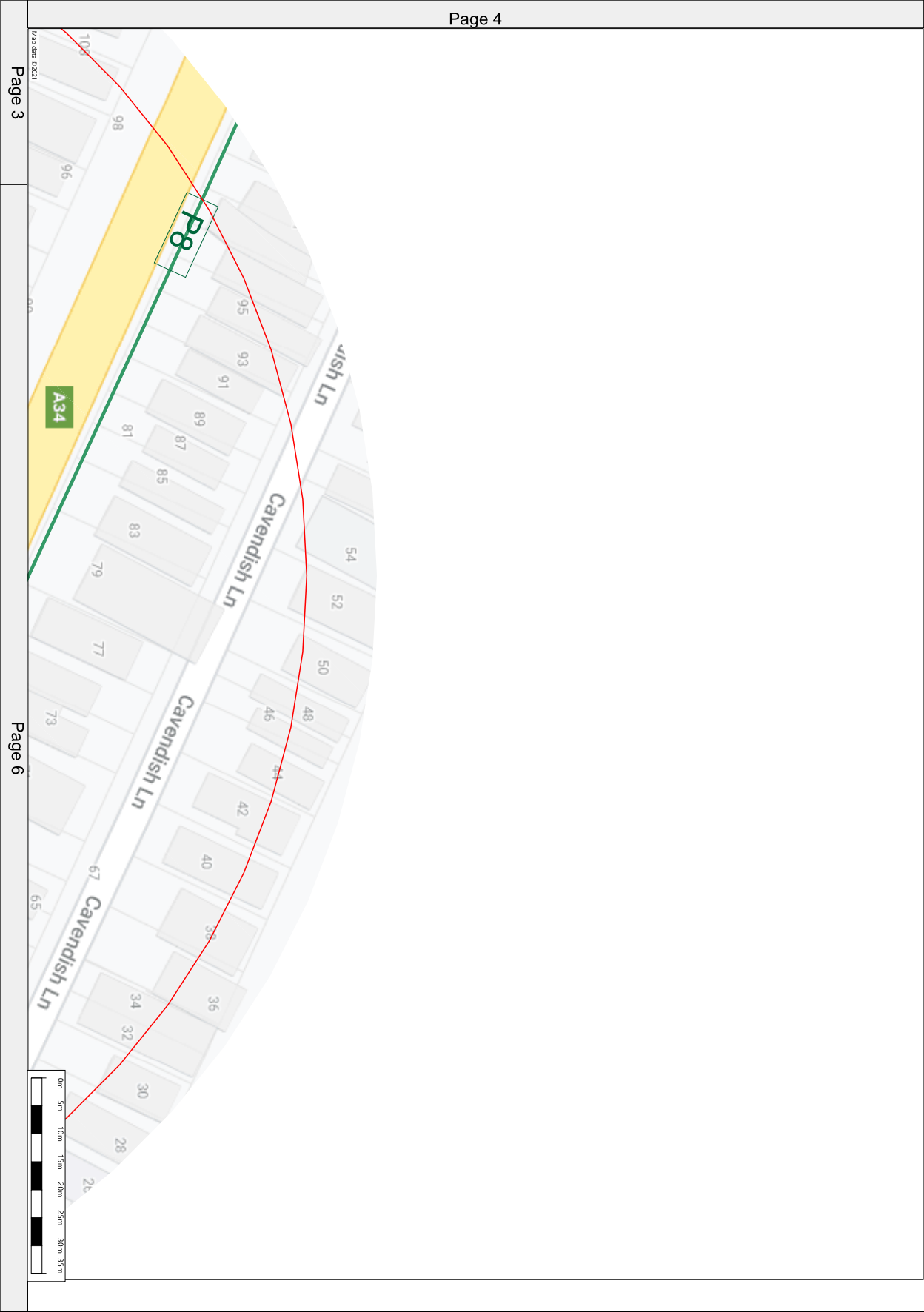
Job number: 30835228

Sequence number: 204869697

WARNING: This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.



- P8 FibreconX P8 Pit
- FibreconX Conduit
- Referral Area of Interest



Created: 04/11/2021 13:37:09

Job number: 30835228

Sequence number: 204869697

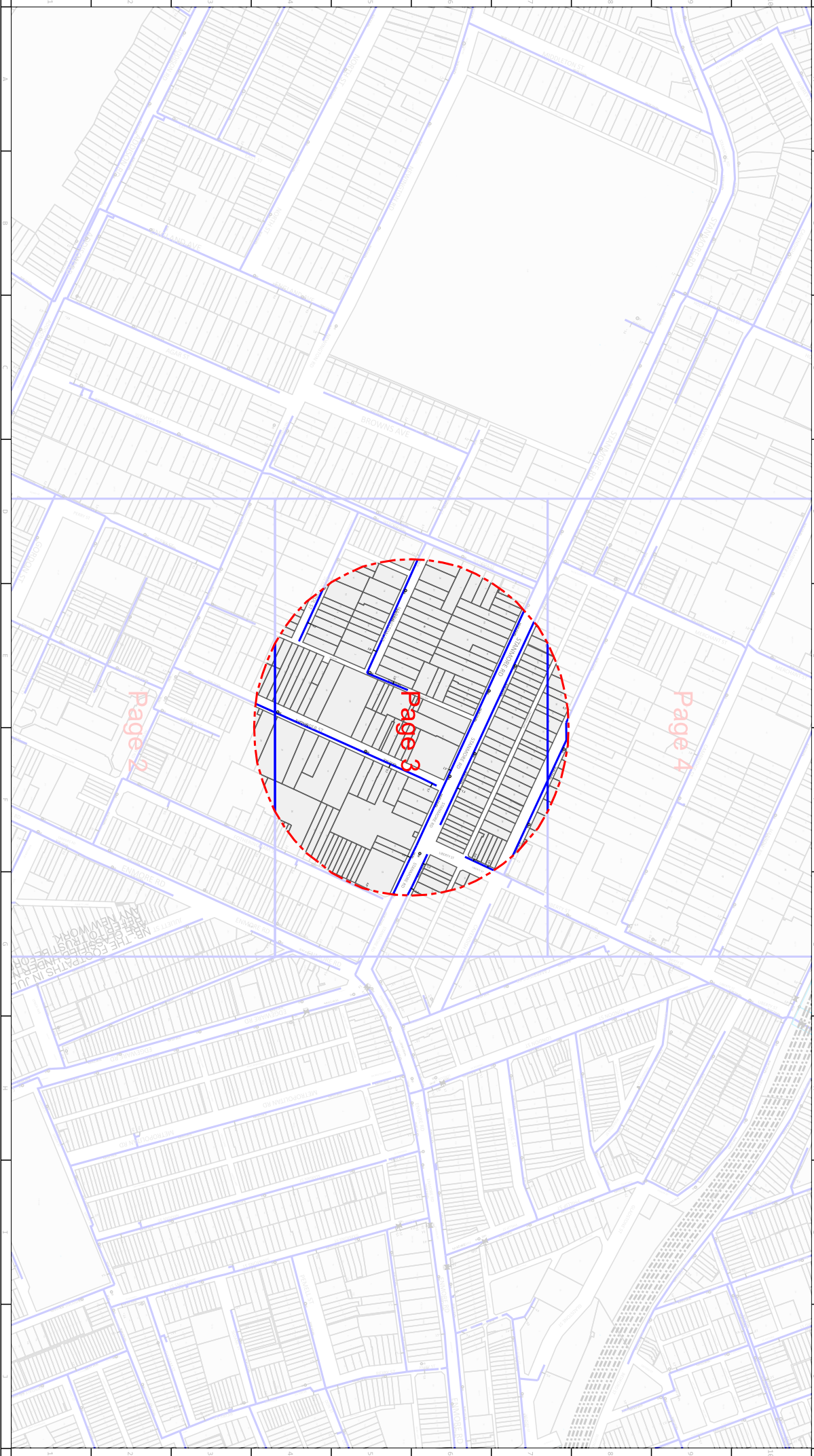
**WARNING:** This document is confidential and may also be privileged. Confidentiality nor privilege is not waived or destroyed by virtue of it being transmitted to an incorrect addressee. Unauthorised use of the contents is therefore strictly prohibited. Any information contained in this document that has been extracted from our records is believed to be accurate, but no responsibility is assumed for any error or omission. FibreConX Plans and information supplied are valid for 28 days from the date of issue. If this timeline has elapsed please raise a new enquiry.



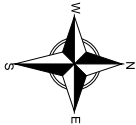
Page: 7 of 7

Scale: 1:1000





For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale: 1:6301

Issue Date: 04/11/2021

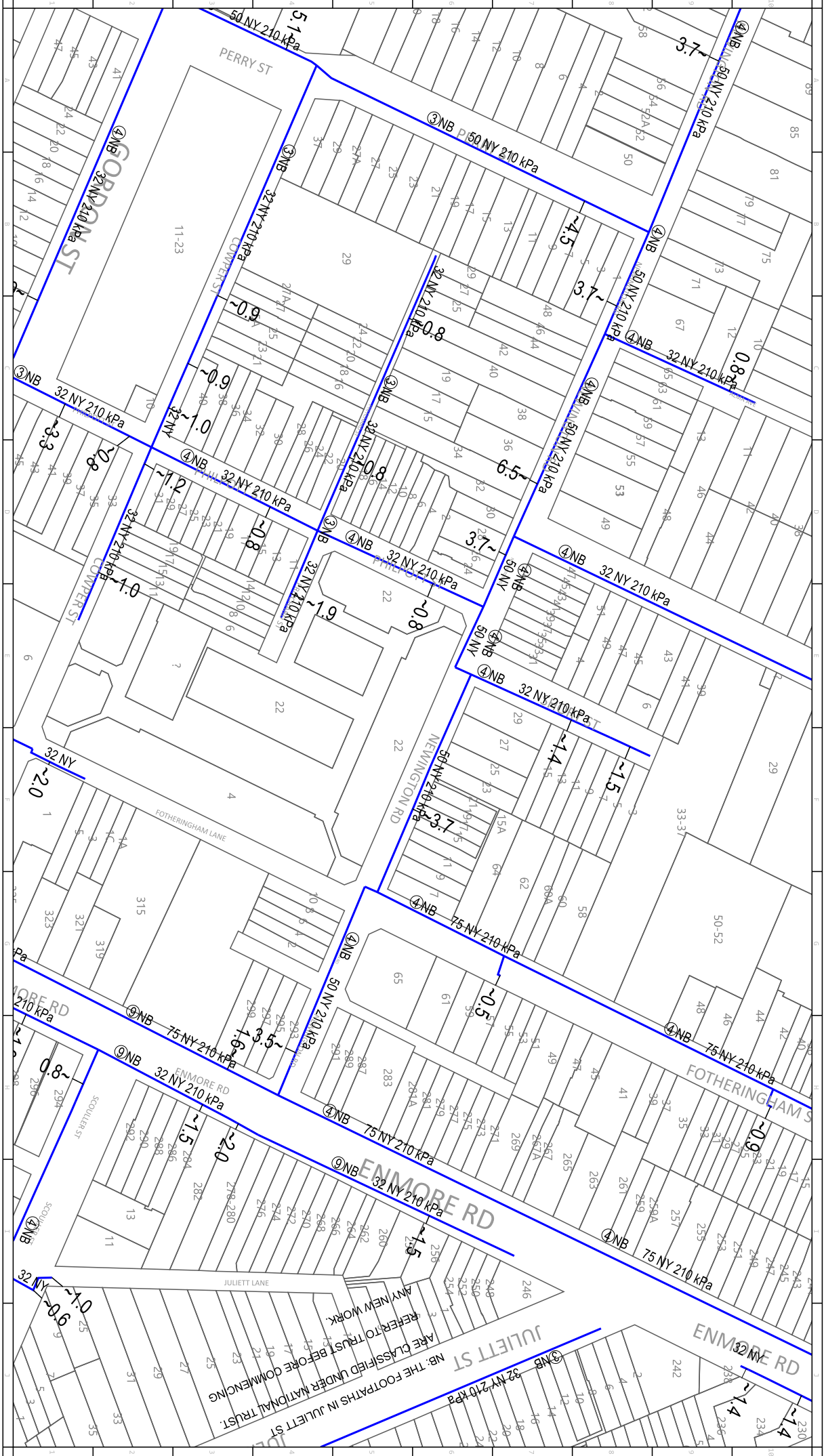
DBYD Seq No: 204869699

DBYD Job No: 30835228

Overview Page:

**WARNING:** This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.



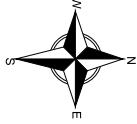


For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.

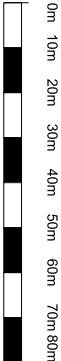
Issue Date: 04/11/2021

DBYD Seq No: 204869699

DBYD Job No: 30835228



Scale: 1:2000



ABN 87 003 004 322

**WARNING:** This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.

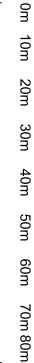


For legend details, please refer to the Coversheet attachment provided as part of this DBYD response.



Scale: 1:2000

**Issue Date:** 04/11/2021  
**DBYD Seq No:** 204869699  
**DBYD Job No:** 30835228



**WARNING:** This is a representation of Jemena Gas Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. This plan is diagrammatic only, and distances scaled from this plan may not be accurate. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the date of issue.




Issue Date:	04/11/2021
DBYD Seq No:	204869699
DBYD Job No:	30835228

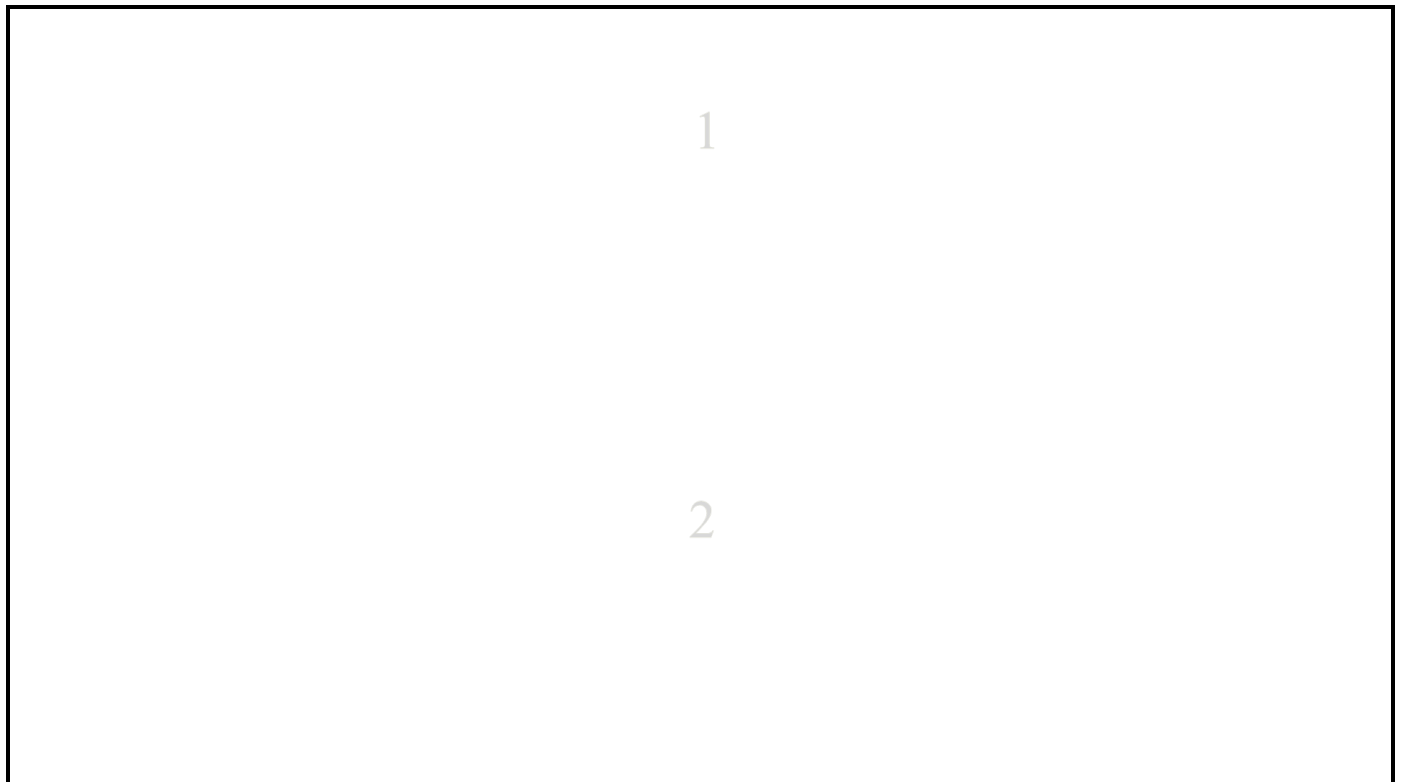


0m 10m 20m 30m 40m 50m 60m 70m 80m

**To:** Megan Trethewy  
**Phone:** Not Supplied  
**Fax:** Not Supplied  
**Email:** megan@foundationes.com.au

<b>Dial before you dig Job #:</b>	30835228	 <b>DIAL BEFORE YOU DIG</b> <a href="http://www.1100.com.au">www.1100.com.au</a>
<b>Sequence #</b>	204869691	
<b>Issue Date:</b>	04/11/2021	
<b>Location:</b>	4 Tupper Street , Enmore , NSW , 2042	

## Indicative Plans



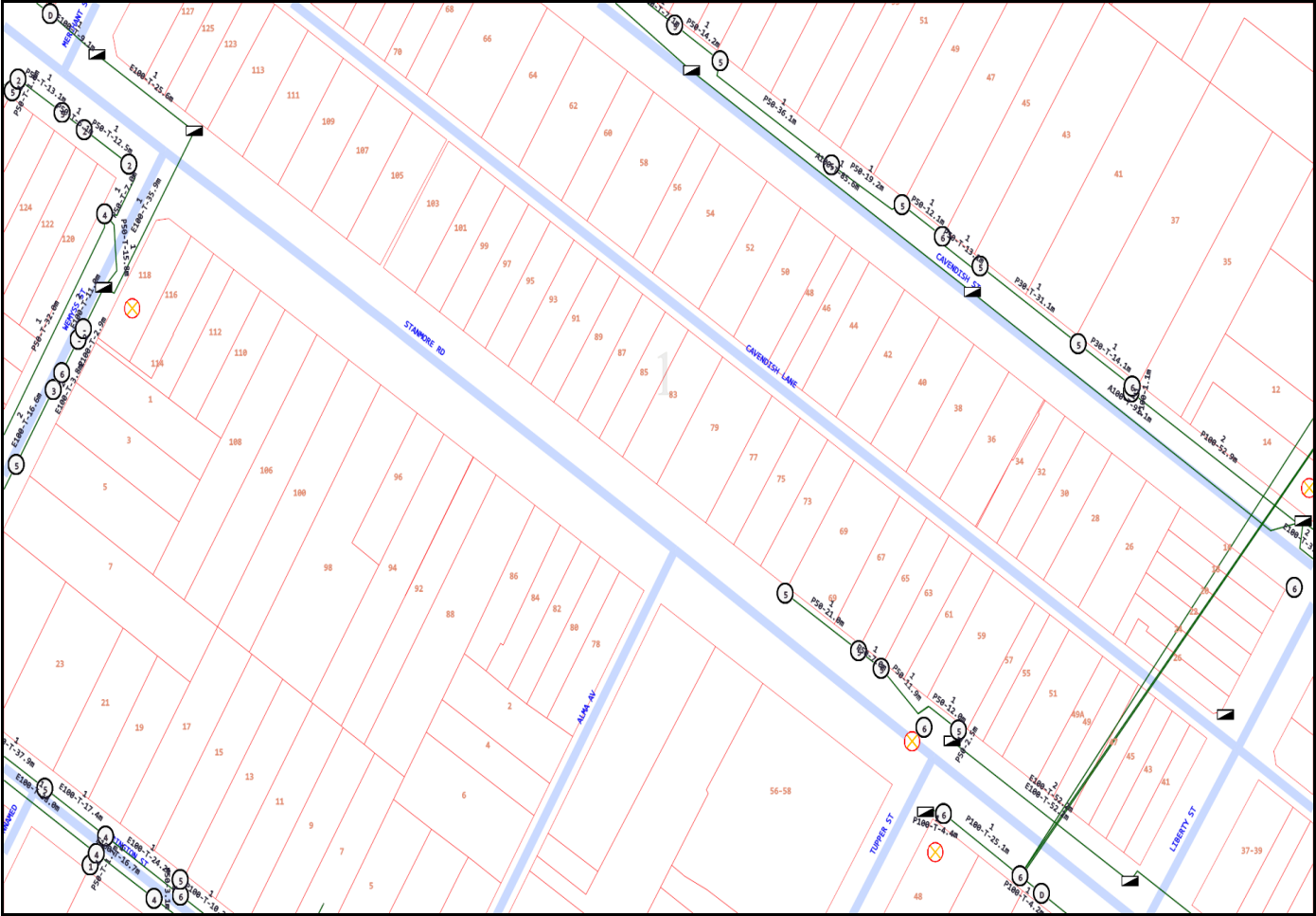


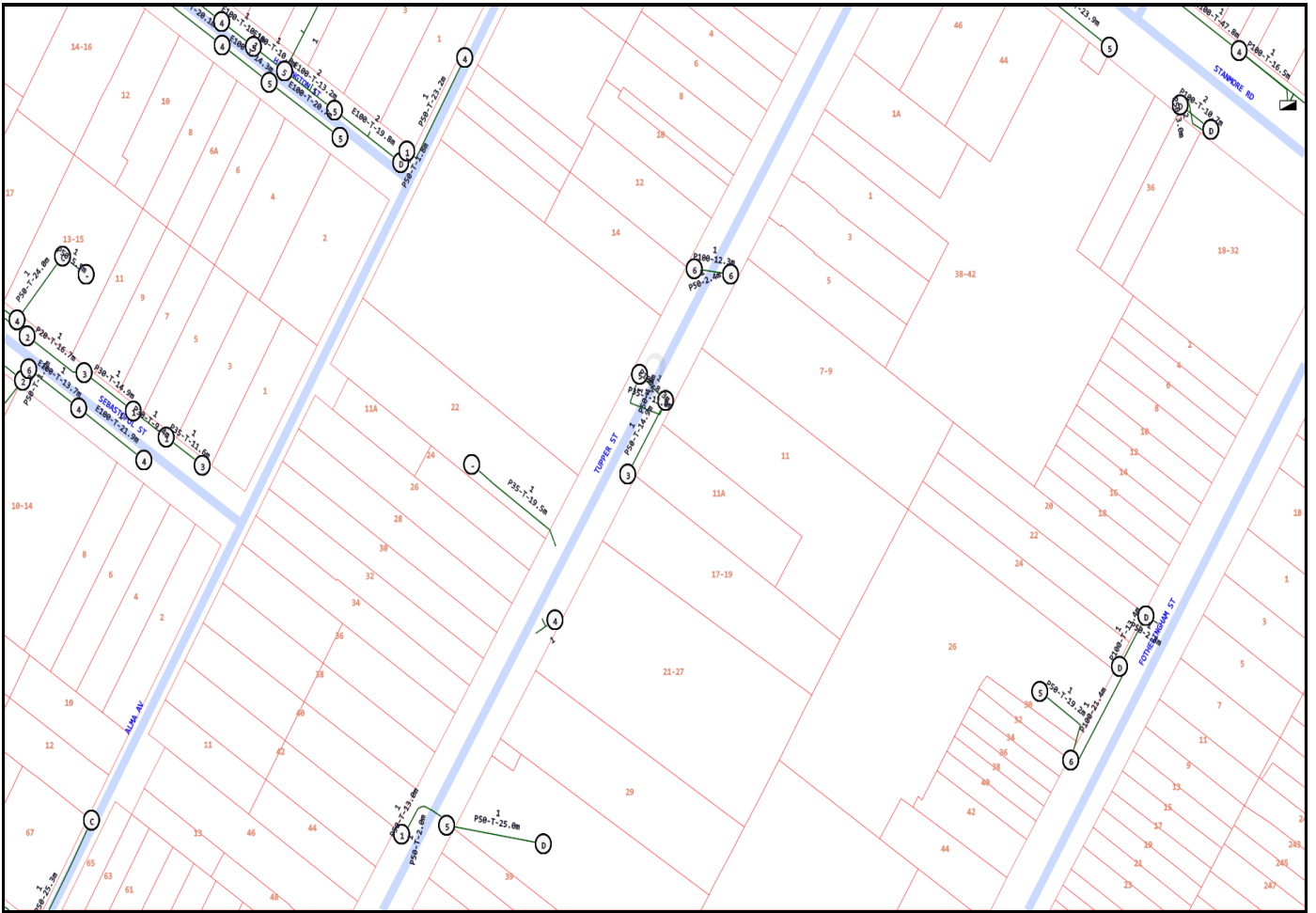


## LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m 

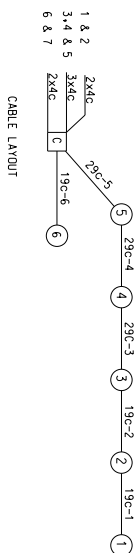


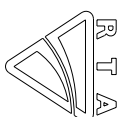


## Emergency Contacts

You must immediately report any damage to the **nbn™** network that you are/become aware of. Notification may be by telephone - 1800 626 329.

- ## CABLE INSTALLATION

[illegible]



1. CABLE COVER: IN ROADWAYS 0.6m ABOVE PIPE. IN FOOTWAYS 0.45m ABOVE PIPE UNLESS OTHERWISE STATED.
2. ALL CABLES IN FOOTWAYS ARE INSTALLED IN 1 X 80 HD PVC CONDUIT UNLESS OTHERWISE STATED.



## CABLE INSTALLATION

[illegible]

Transport Sydney Trains  
477 Pitt Street  
Sydney, NSW, 2000

To:  
Foundation Earth Sciences - Megan Trethewy

This is an **AFFECTED** Response – Please get in contact with **Sydney Trains** before any work including **pot hole** is undertaken using email: [DBYD-Stage2works@transport.nsw.gov.au](mailto:DBYD-Stage2works@transport.nsw.gov.au)

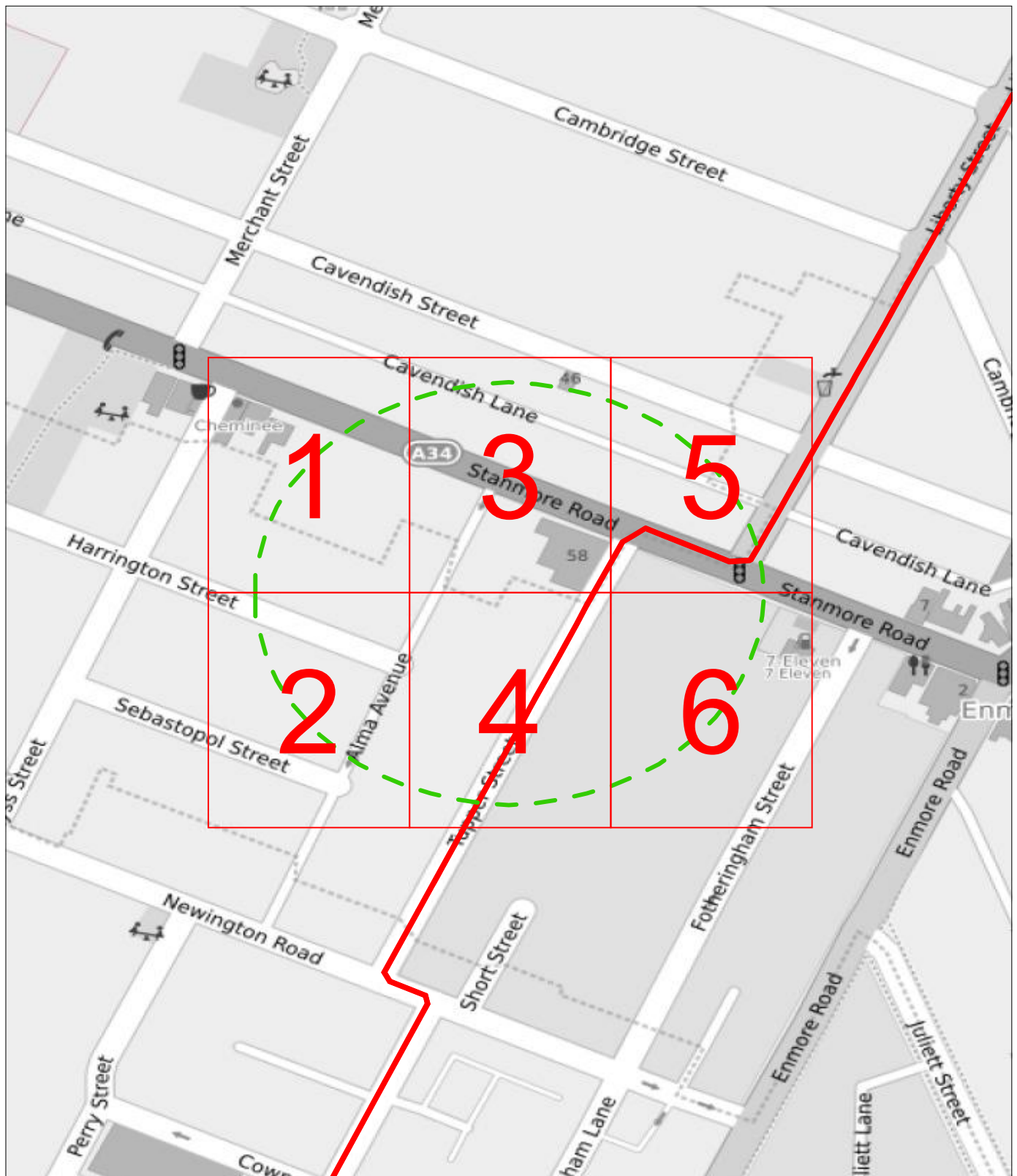
Enquiry Details	
Utility ID	30205 -
Sequence Number	204869696
Job Number	30835228
Enquiry Date	04/11/2021 12:27
Response	<b>AFFECTED</b>
Address	4 Tupper Street Enmore
Location in Road	
Activity	Vertical Boring

Enquirer Details	
Customer ID	3102600
Contact	Megan Trethewy
Company	Foundation Earth Sciences
Email	megan@foundationes.com.au
Phone	+61409620828

# Overview Map

Sequence No: 204869696

4 Tupper Street Enmore



The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor.



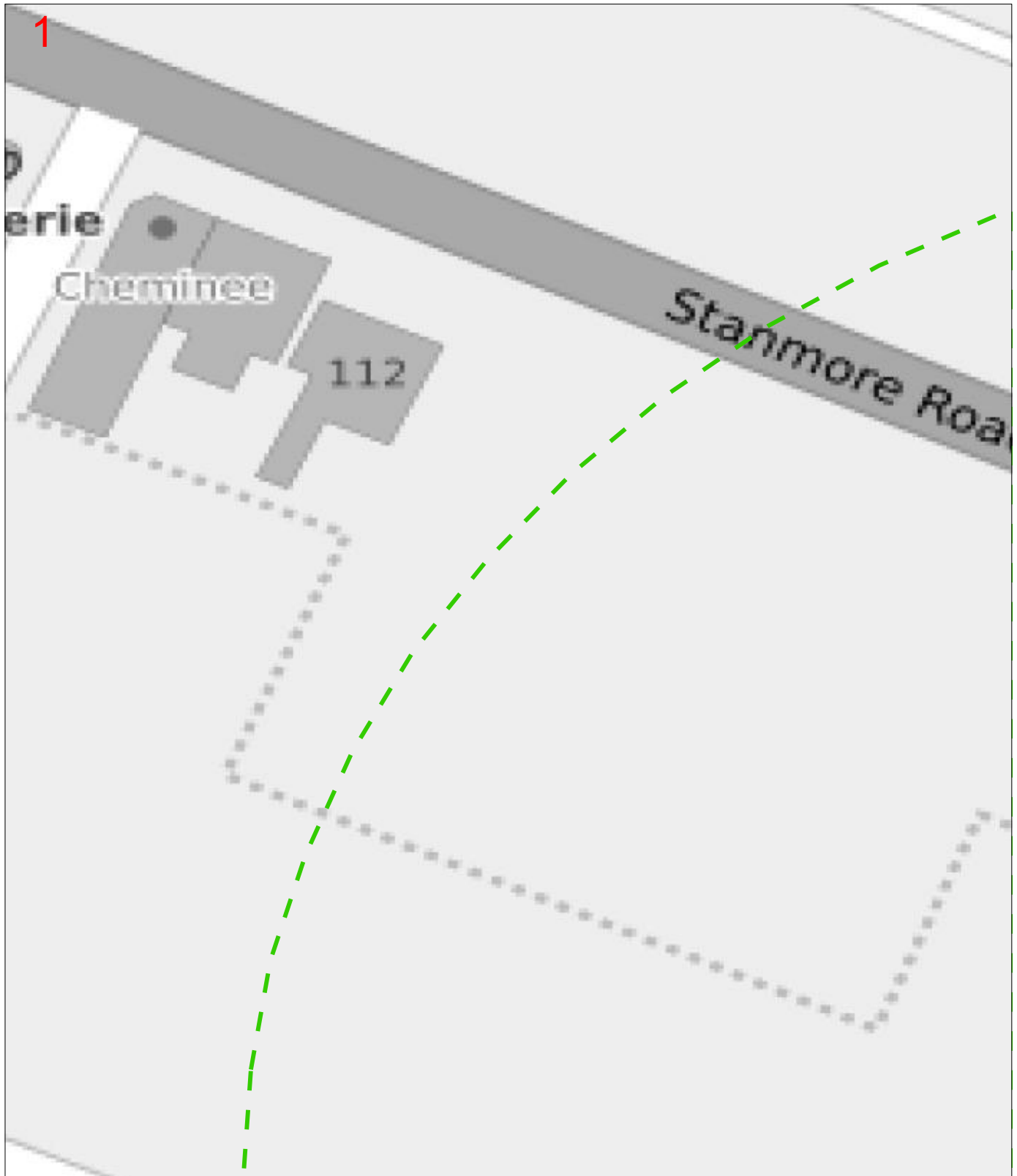
## LEGEND:

1

Detail Map



Affected DBYD  
Work Area



Imagery sourced from Open StreetMaps

**LEGEND:**

Affected DBYD Work Area



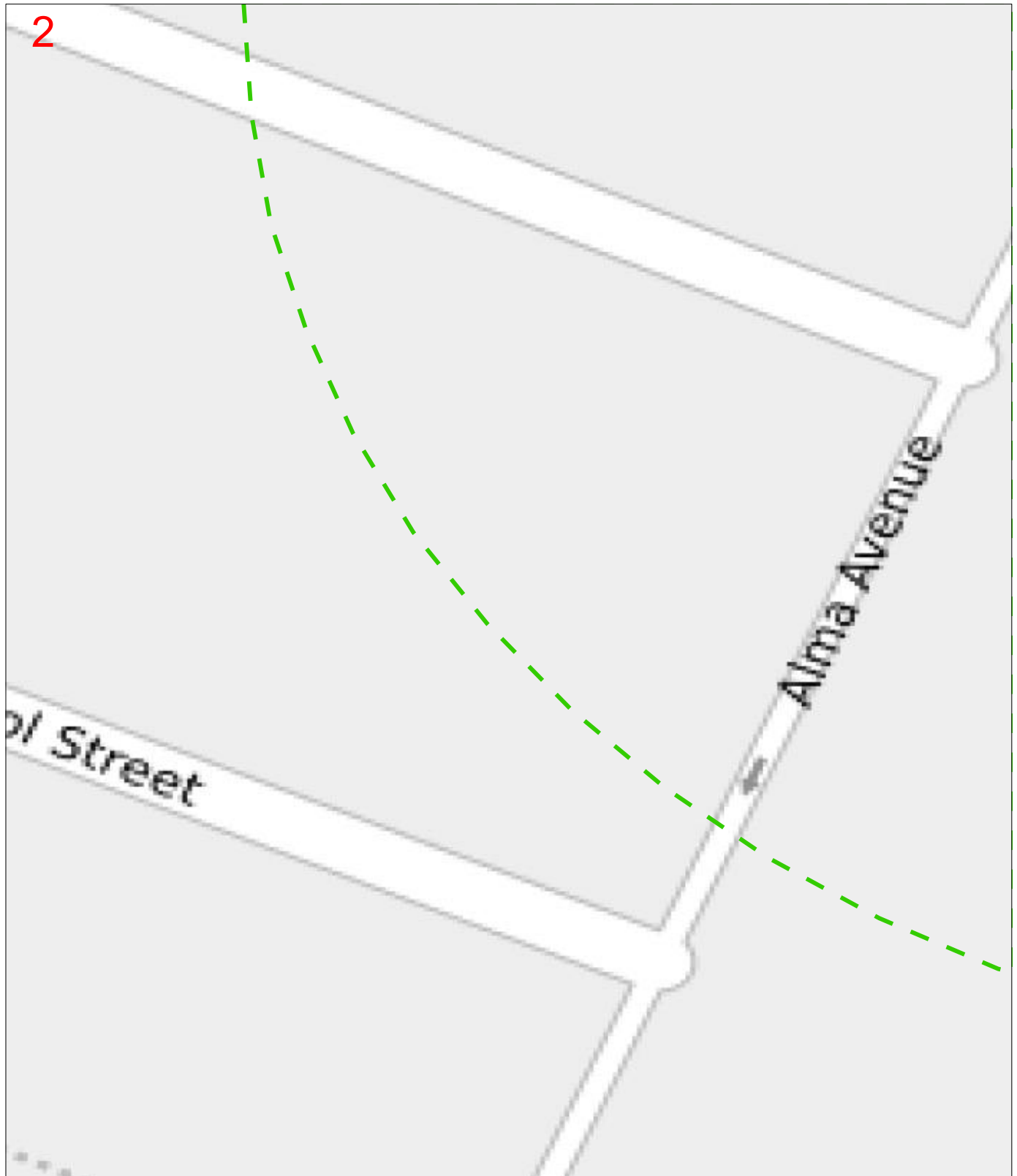
Tunnel

 HV Cable

 Communications

The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor





Imagery sourced from Open StreetMaps

### LEGEND:



Affected DBYD Work Area



Tunnel

 HV Cable

 Communications

The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor



Imagery sourced from Open StreetMaps

### LEGEND:



Affected DBYD Work Area

 HV Cable

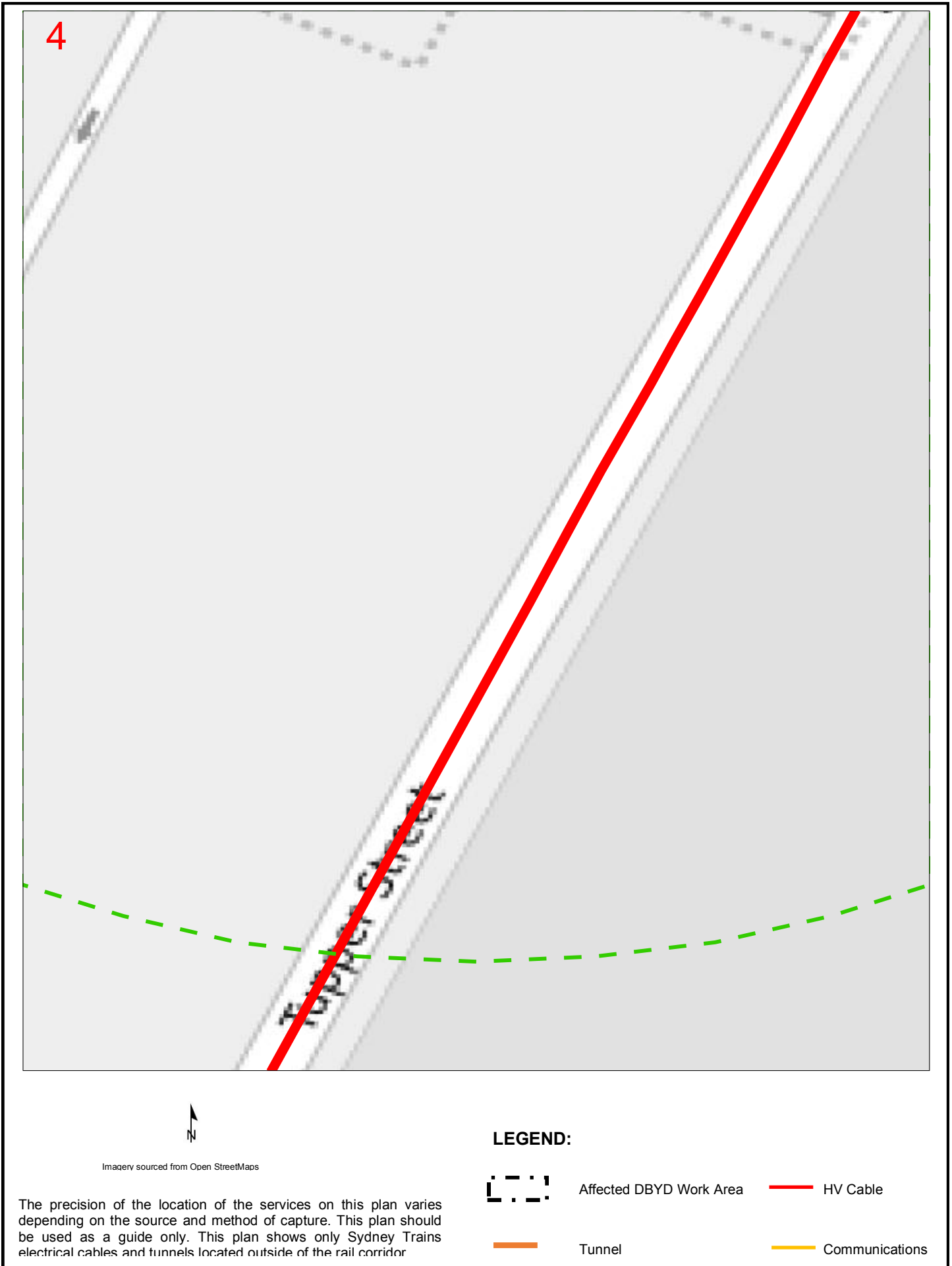


Tunnel



Communications

The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor





Imagery sourced from Open StreetMaps

**LEGEND:**

Affected DBYD Work Area

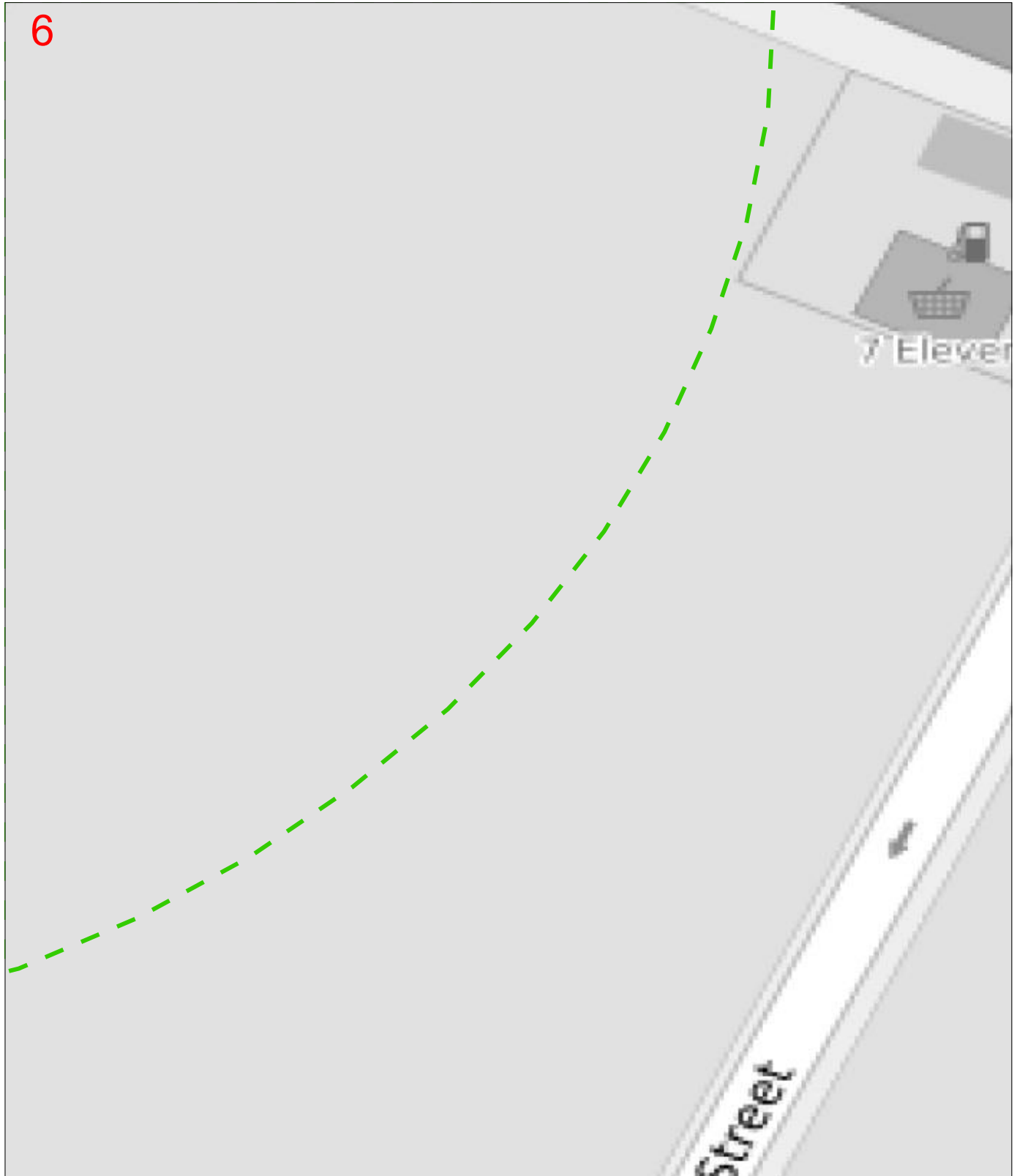


Tunnel

 HV Cable

 Communications

The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor



Imagery sourced from Open StreetMaps

### LEGEND:



Affected DBYD Work Area



Tunnel

 HV Cable

 Communications

The precision of the location of the services on this plan varies depending on the source and method of capture. This plan should be used as a guide only. This plan shows only Sydney Trains electrical cables and tunnels located outside of the rail corridor

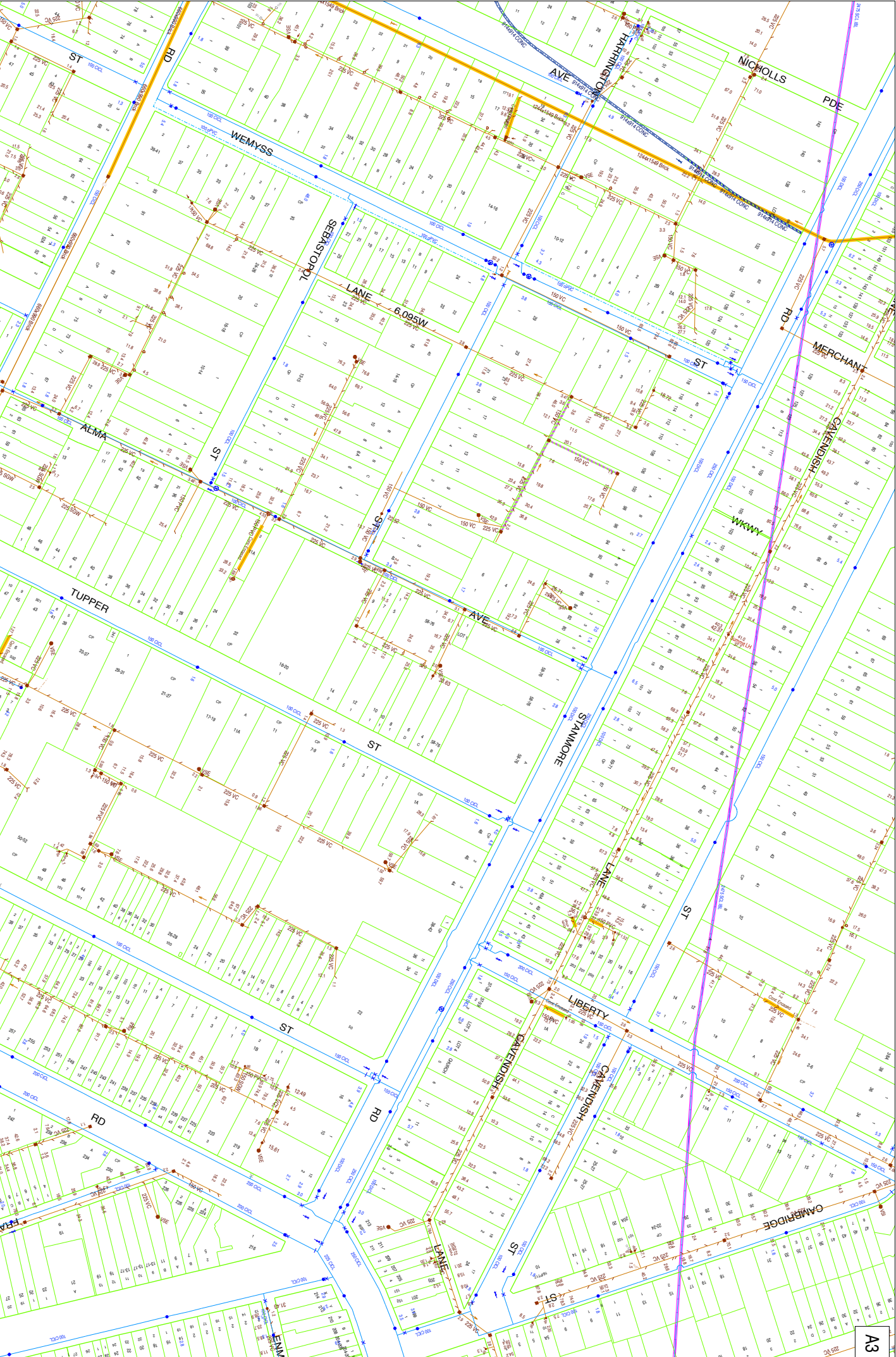
DBYD Address:  
4 Tupper Street  
Ermore NSW 2042

DBYD Job No: 30835228  
DBYD Sequence No: 204869700

Copyright Reserved Sydney Water 2021  
No warranty is given that the information shown is complete or accurate.  
SYDNEY WATER CORPORATION

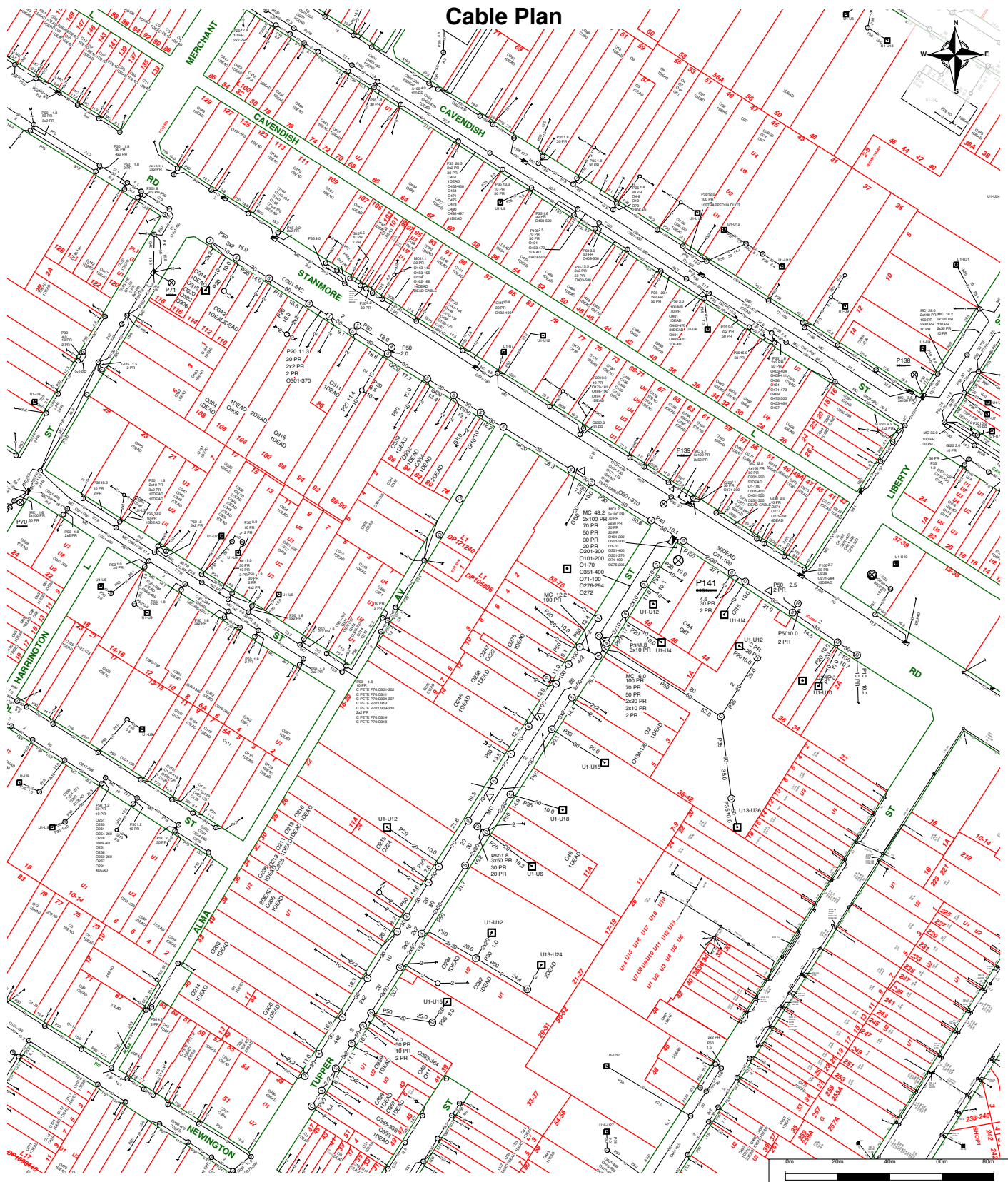
Scale: 1:1500  
Date of Production: 04/11/2021

Plan 1 of 1  
0m 5m 10m 20m 50m





# Cable Plan



For all Telstra DBYD plan enquiries -  
email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)  
For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 04/11/2021 13:35:01

Sequence Number: 204869692

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

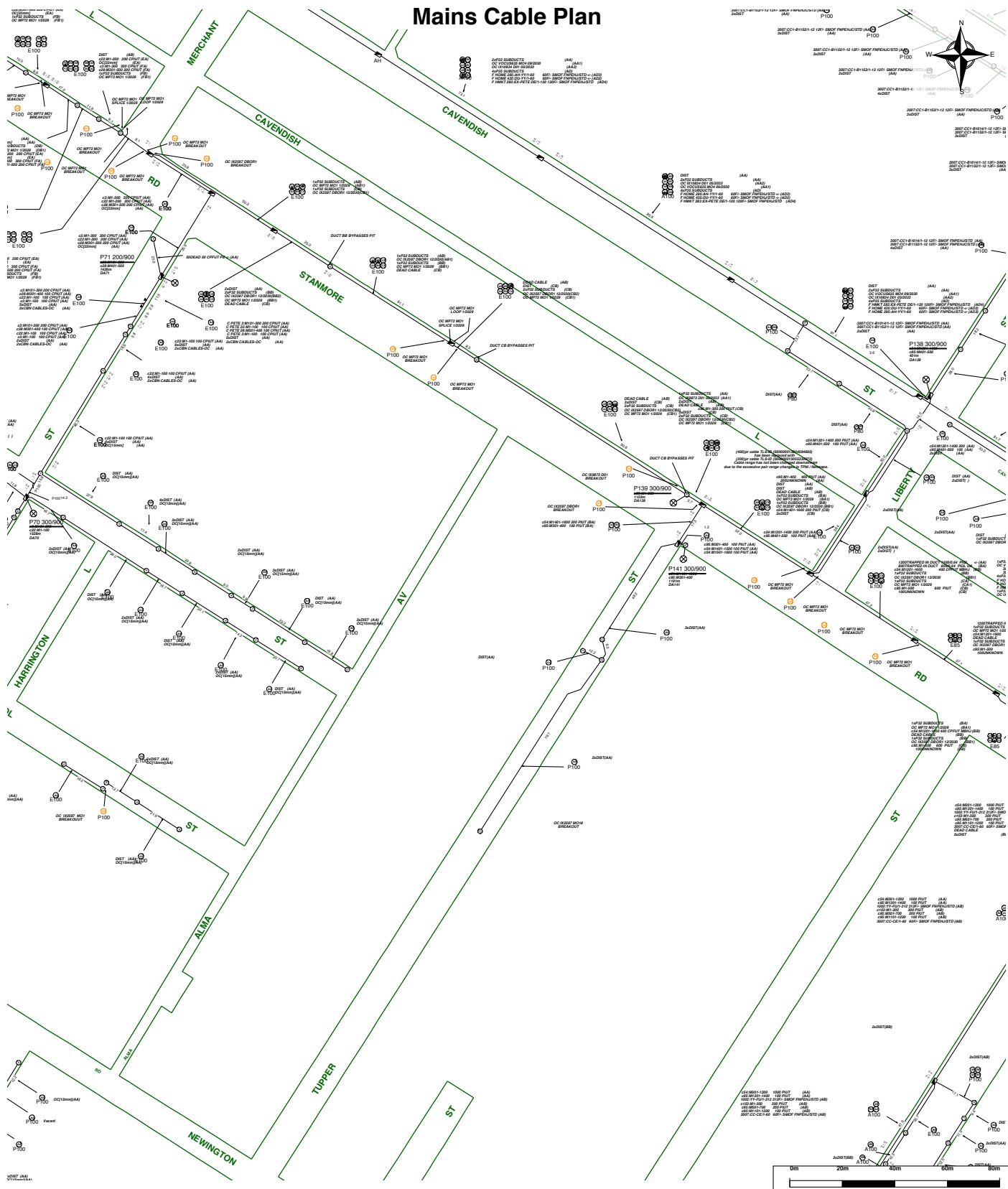
**WARNING -** Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.

# Mains Cable Plan



For all Telstra DBYD plan enquiries -  
email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)  
For urgent onsite contact only - ph 1800 653 935 (bus hrs)

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 04/11/2021 13:35:05

Sequence Number: 204869692

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

**WARNING** - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.





Date: 04/11/2021

Enquirer Name: Megan Trethewy  
Enquirer Address: 6 Merindah Avenue  
Email: [megan@foundations.com.au](mailto:megan@foundations.com.au)  
Phone: +61409620828

Dear Megan Trethewy

The following is our response on behalf of each of the TPG carriers (listed below) to your Dial Before You Dig enquiry – Sequence 204869690. It is provided to you on a confidential basis under the following conditions and must be shredded or securely disposed of after use.

**Assets Affected:**

Carriers (each a “TPG carrier”) and assets affected:

PIPE Networks

**Location:** 4 Tupper Street

According to our records, the underground assets in the vicinity of the location stated in your enquiry are **AFFECTED**. Please read the below information and disclaimers in addition to the any attached plans provided prior to any construction activities.

**IMPORTANT INFORMATION**

- The information provided is valid for 30 days from the date of this response. If your work site area changes or your construction activity is beyond 30 days please contact Dial Before You Dig on 1100 or [www.1100.com.au](http://www.1100.com.au) to re-submit a new enquiry.
- Due to the nature of underground assets and the age of some assets and records, our plans are indicative of the general location only and may not show all assets in the location. You should not solely rely on these plans when undertaking construction works. It is also inaccurate to assume depth or that underground network conduit and cables follow straight lines, and careful on-site investigations are essential to locate an asset's exact position prior to excavation. It is your responsibility to locate and confirm the exact location of our infrastructure using non-destructive techniques. We make no warranty or guarantee that our plans are complete, current or error free, and to the maximum extent permitted by law we exclude all liability to you, your employees, agents and contractors for any loss, damage or claim arising out of or in connection with using our plans.
- Please note that some of our conduits carry electrical cables and gas pipes. Please exercise extreme care when working within the vicinity of these conduit and take into account the minimum clearance distances under Duty Of Care below.
- You (and your employee and contractors) must not open, move, interfere, alter or relocate any of our assets without our prior approval.
- **Note** It is a criminal offence under the *Criminal Code Act 1995 (Cth)* to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by us as a result of such unauthorised works may be claimed against you.

**DAMAGE**

- You must report immediately any damage to our network on **1800 786 306** (24hrs). We will hold you liable and seek compensation for any loss or damage to our network, our property and our customers that is caused by or arises out of your activities.

**DUTY OF CARE**

You have a duty of care to carefully locate, validate and protect our assets when carrying out works near our infrastructure. For construction activities that may impact on or interfere with our network, you will need to call us on **1800 786 306** to discuss a suitable engineering solution, lead time and cost involved. The below precautions must be taken when working in the vicinity of our network:

- Contact us on **1800 786 306** to discuss and obtain relevant information and plans on our infrastructure in a particular location if the information provided in this response is insufficient.
- Physically locate and mark on-site our network infrastructure using non-destructive techniques i.e. pot holing or hand digging every 5 metres prior to commencing any construction activities. Assets located must be marked to AS5488 standard. **NO CONSTRUCTION WORK IS ALLOWED UNTIL THIS STEP IS COMPLETED.** You must use an approved telecommunications accredited locator, or we can provide a locator for you at your expense. If we provide you with a locator, and this locator attended the site and is proven to be grossly negligent in physically locating and marking our infrastructure, then to the extent any TPG carrier is liable for this locator's negligence, acts and omissions, the total liability aggregated for all TPG carriers is limited, at our option, to attend the site and re-mark the infrastructure or to pay for a third party to re-mark the infrastructure.
- If you require us to locate or monitor our infrastructure, please allow five business days' notice for us to respond.
- Ensure all information, including our network requirements and any associated plans provided by us are kept confidential and remain on-site throughout your construction works.

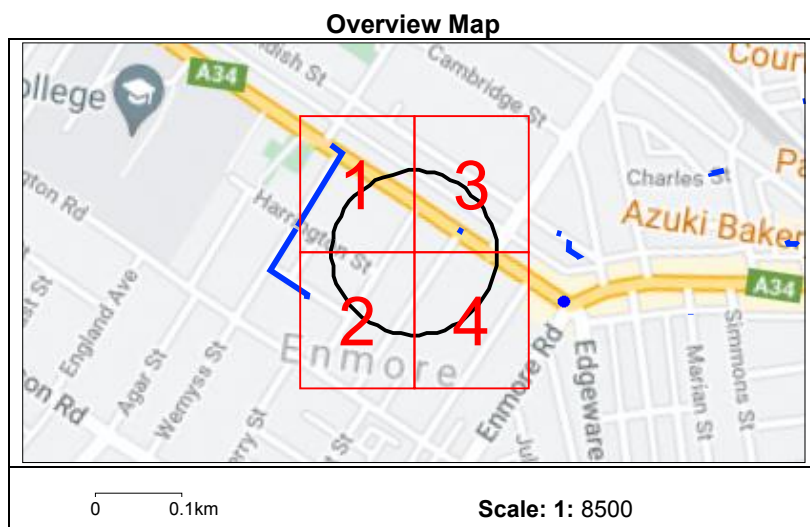
- Use suitably qualified and supervised professionals, particularly if you are working near assets that contain electricity cables or gas pipes.
- Ensure the below minimum clearance distances between the construction activities and the actual location of our assets are met. If you need clearance distances for our above ground assets, or if the below distances cannot be met, call **1800 786 306** to discuss.

#### Minimum assets clearance distances.

- 300mm when laying asset inline, horizontal or vertical.
  - 1000mm when operating vibrating equipment. Eg: vibrating plates. No vibrating equipment on top of asset.
  - 1000mm when operating mechanical excavators or jackhammers/pneumatic breakers.
  - 2000mm when performing directional bore in-line, horizontal and vertical.
  - No heavy vehicle over 3 tonnes to be driven over asset with less than 600mm of cover.
- Reinstate exposed TPG network infrastructure back to original state.

#### PRIVACY & CONFIDENTIALITY

- Privacy Notice – Your information has been provided to us by Dial Before You Dig to respond to your Dial Before You Dig enquiry. We will keep your personal information in accordance with TPG's privacy policy, see [www.tpg.com.au/about/privacy](http://www.tpg.com.au/about/privacy).
- Confidentiality – The information we have provided to you is confidential and is to be used only for planning and designing purposes in connection with your Dial Before You Dig enquiry. Please dispose of the information by shredding or other secure disposal method after use. We retain all intellectual property rights (including copyrights) in all our documents and plans.



**TransACT**

**PowerTel**  
Simply Business

**pipenetworks**

**DDA**  
Digital Disability Australia

**Agile**  
communications  
technology understanding people

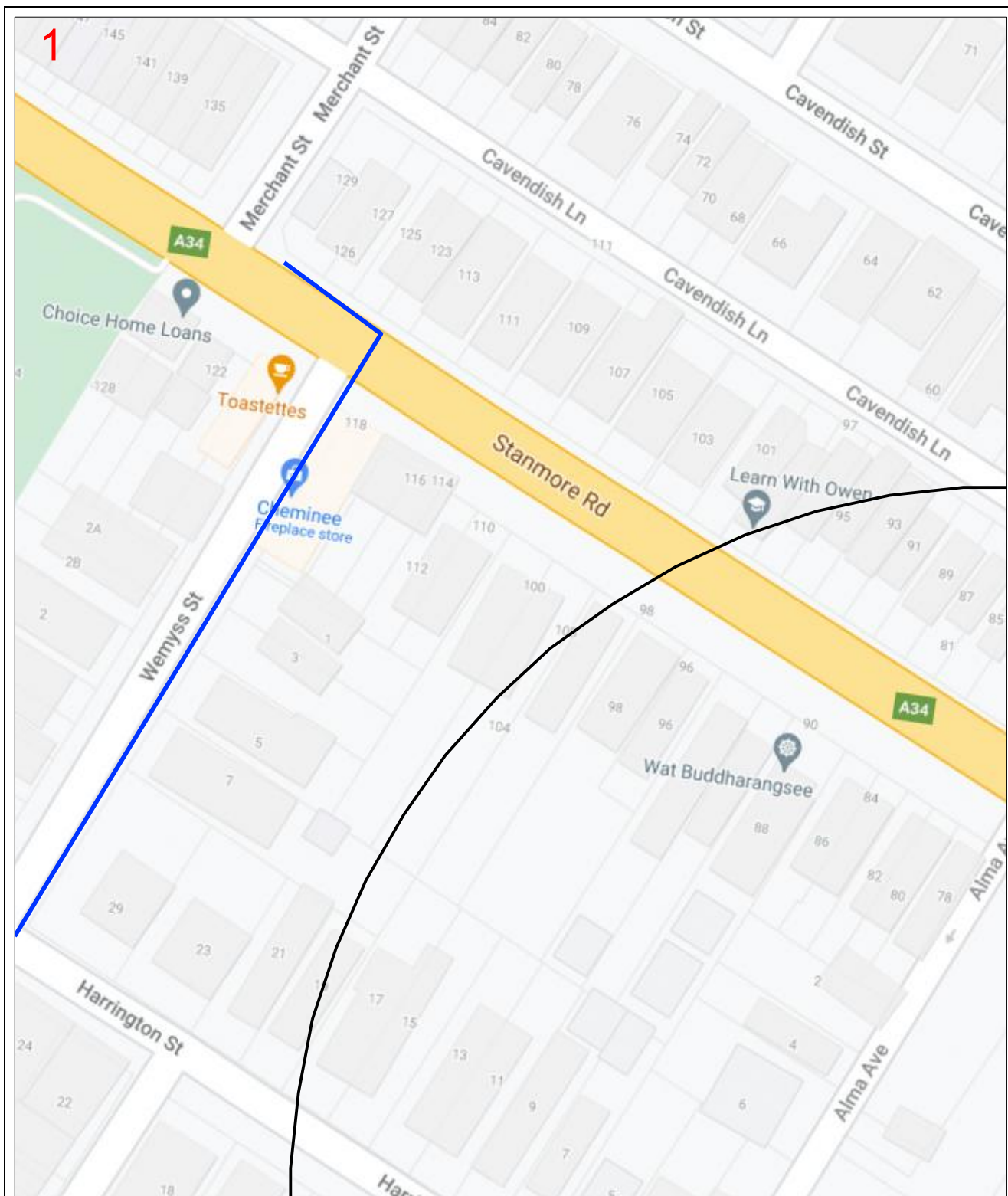
**iinet**

**AdamInternet**  
Connecting SA

**Internode**

**AAPT**

TPG Corporation Limited



**Enquiry Number:** 204869690

**Map Sheet:** 1

**Scale:** 1: 750

0 0.008km



## LEGEND

DBYD Work Area



AAPT/PowerTel Pit



AAPT/PowerTel Duct



DDA Pit



DDA Duct



Agile/Adam Pit



Agile/Adam Duct



TransACT Pit



TransACT Duct



SOUL Pattinson Telecoms Pit



SOUL Pattinson Telecoms Duct



PIPE Networks Pit

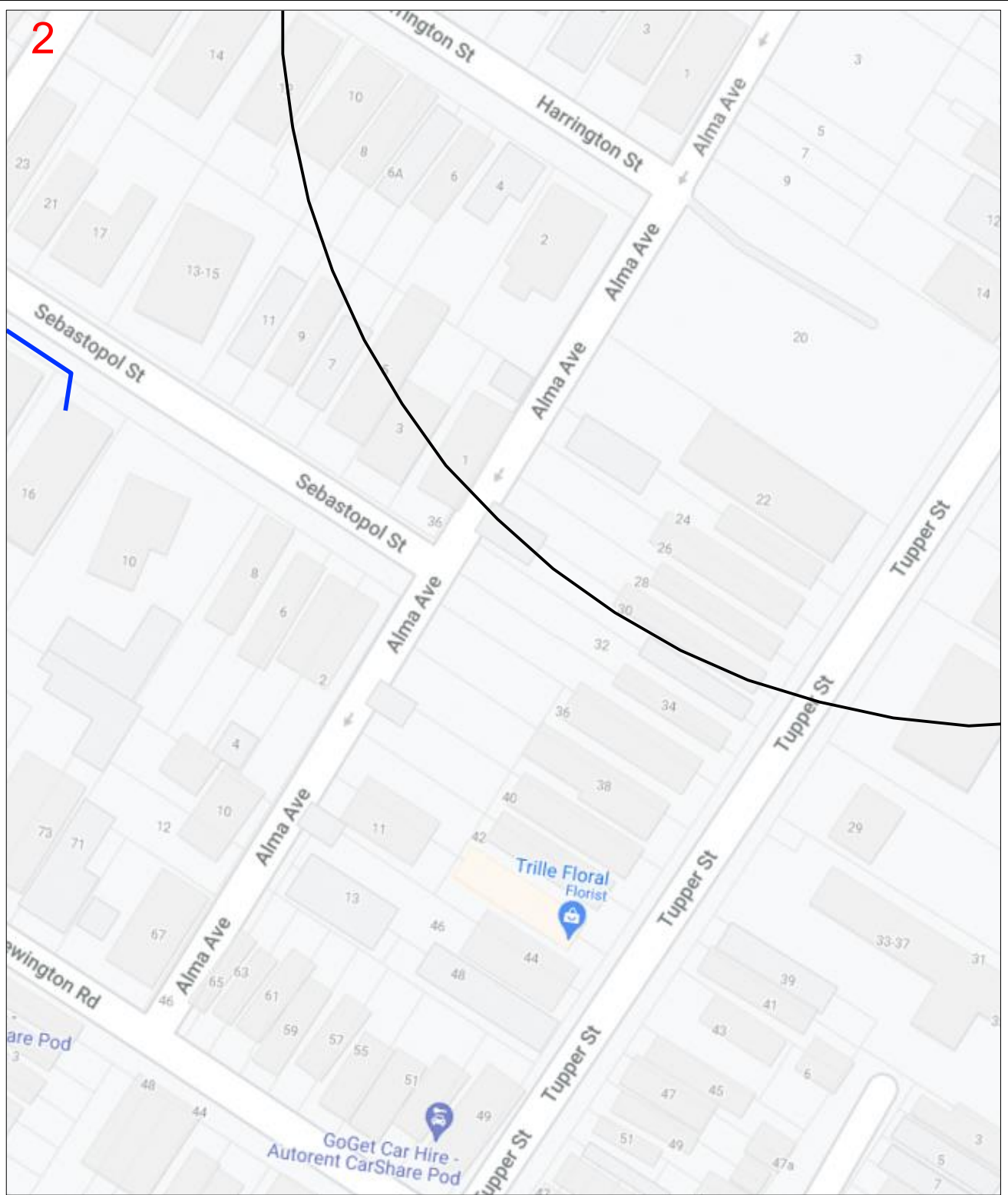


PIPE Networks Duct



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2



**Enquiry Number:** 204869690

**Map Sheet:** 2

**Scale:** 1: 750

0 0.008km



### LEGEND

DBYD Work Area



AAPT/PowerTel Pit



TransACT Pit



AAPT/PowerTel Duct



TransACT Duct



DDA Pit



SOUL Pattinson Telecoms Pit



DDA Duct



SOUL Pattinson Telecoms Duct



Agile/Adam Pit



PIPE Networks Pit



Agile/Adam Duct



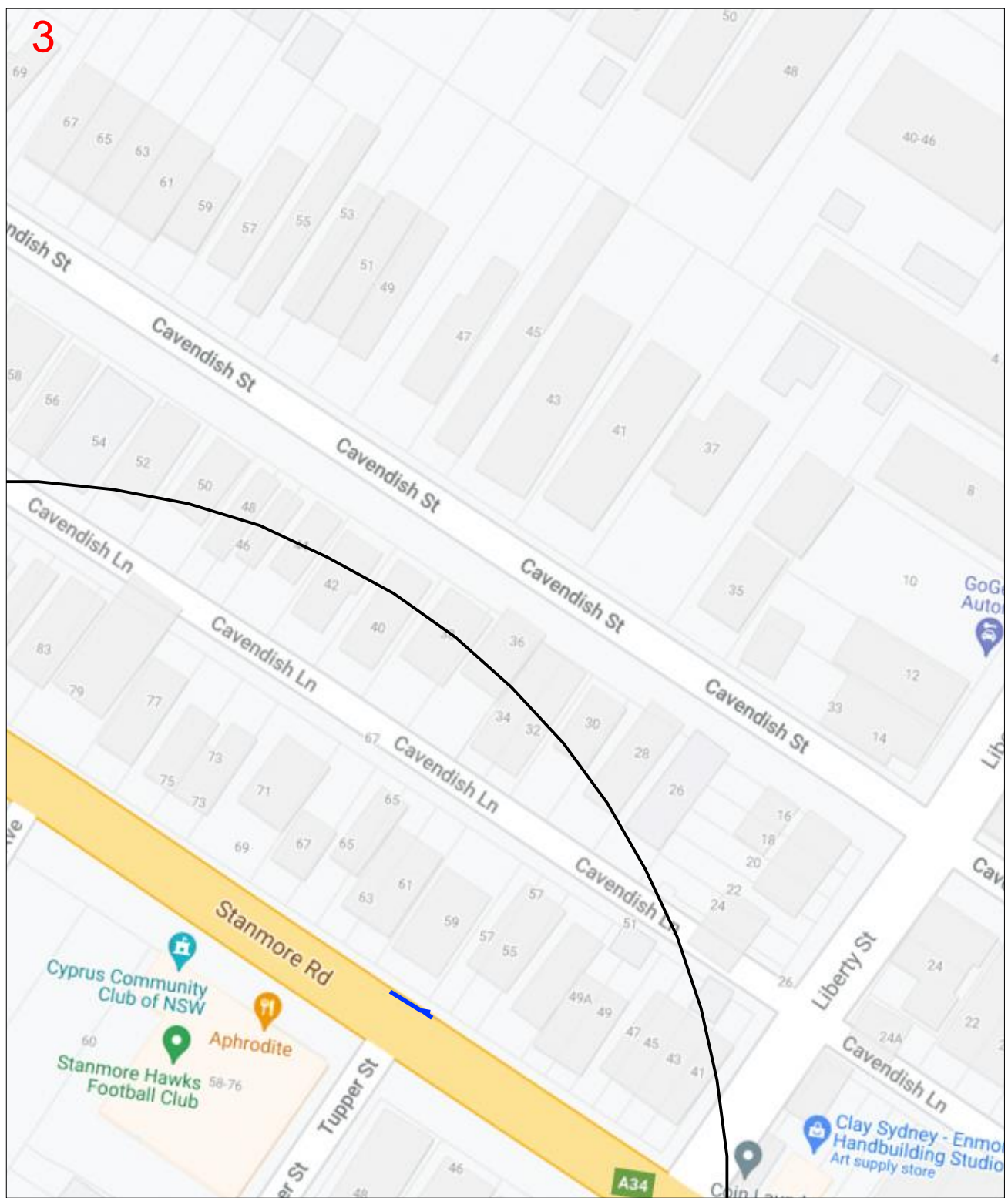
PIPE Networks Duct



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3



**Enquiry Number:** 204869690

**Map Sheet:** 3

**Scale:** 1: 750

0 0.008km



### LEGEND

DBYD Work Area



AAPT/PowerTel Pit



AAPT/PowerTel Duct



DDA Pit



DDA Duct



Agile/Adam Pit



Agile/Adam Duct



TransACT Pit



TransACT Duct



SOUL Pattinson Telecoms Pit



SOUL Pattinson Telecoms Duct



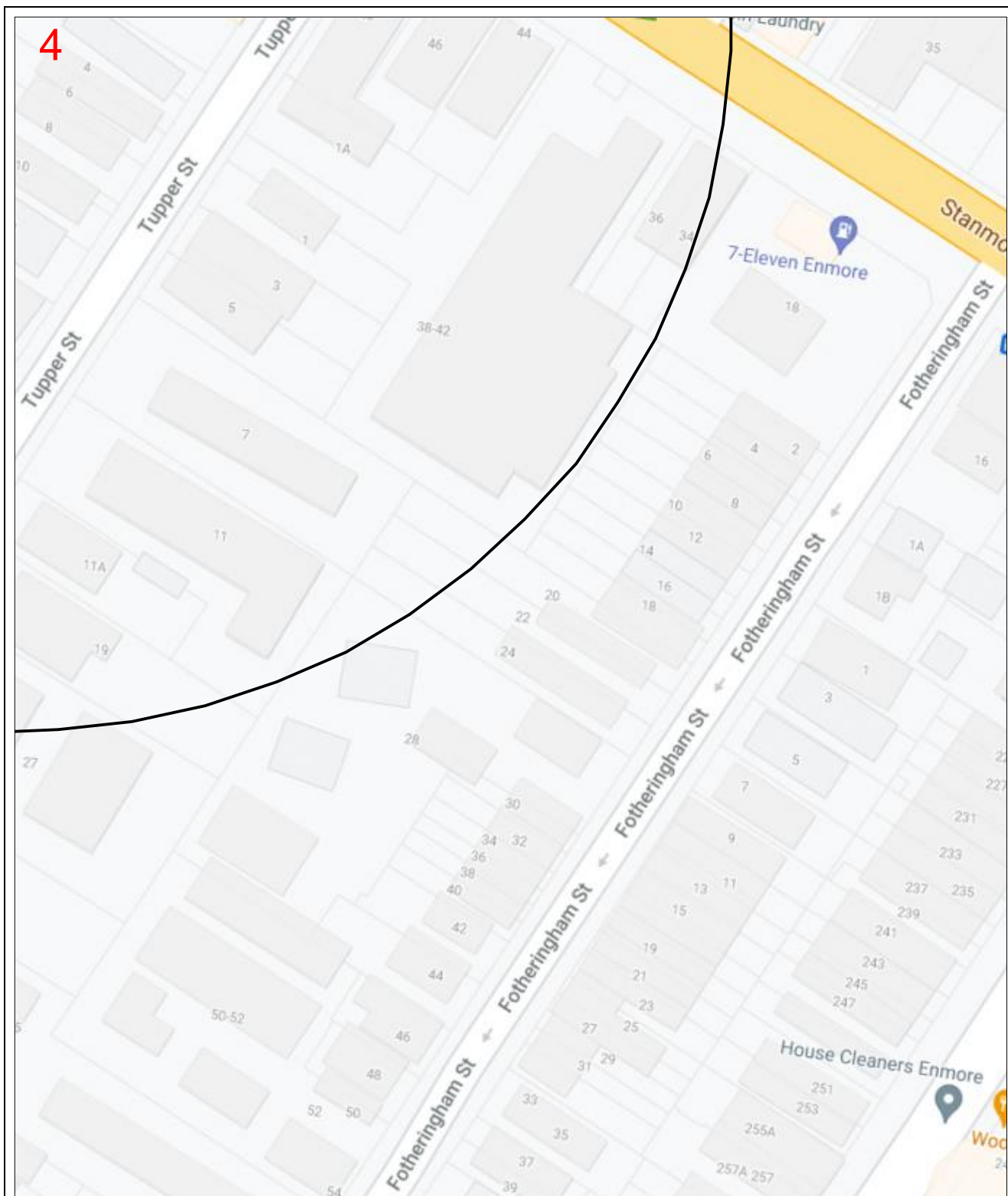
PIPE Networks Pit



PIPE Networks Duct



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**Enquiry Number:** 204869690

**Map Sheet:** 4

**Scale:** 1: 750

0 0.008km



## LEGEND

DBYD Work Area



AAPT/PowerTel Pit



TransACT Pit



AAPT/PowerTel Duct



TransACT Duct



DDA Pit



SOUL Pattinson Telecoms Pit



DDA Duct



SOUL Pattinson Telecoms Duct



Agile/Adam Pit



PIPE Networks Pit



Agile/Adam Duct



PIPE Networks Duct



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## **APPENDIX B: HISTORICAL AERIAL PHOTOGRAPHS**

# Historical Aerial Photographs

58-76 Stanmore Road, 2-20  
Tupper Street & 1-9 Alma  
Avenue, Stanmore NSW



1943:



1961:





1975:



1991:



1998:



2004:





Current (SIX Maps):



## **APPENDIX C: LAND TITLE INFORMATION**



**Title Search**

18/11/2021 09:29 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/180283

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	9:30 AM	2	28/2/2017

LAND

LOT 1 IN DEPOSITED PLAN 180283

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP180283

FIRST SCHEDULE

ALPHA DISTRIBUTION MINISTERIAL HOLDING CORPORATION (CN AK971571)

SECOND SCHEDULE (2 NOTIFICATIONS)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

2 AK971351 LEASE TO BLUE ASSET PARTNER PTY LTD, ERIC ALPHA ASSET CORPORATION 1 PTY LTD, ERIC ALPHA ASSET CORPORATION 2 PTY LTD, ERIC ALPHA ASSET CORPORATION 3 PTY LTD & ERIC ALPHA ASSET CORPORATION 4 PTY LTD EXPIRES: 30/11/2115. OPTION OF RENEWAL: 99 YEARS.

AK971352 LEASE OF LEASE AK971351 TO BLUE OP PARTNER PTY LTD, ERIC ALPHA OPERATOR CORPORATION 1 PTY LTD, ERIC ALPHA OPERATOR CORPORATION 2 PTY LTD, ERIC ALPHA OPERATOR CORPORATION 3 PTY LTD & ERIC ALPHA OPERATOR CORPORATION 4 PTY LTD EXPIRES: 29/11/2115.

AK971502 MORTGAGE OF LEASE AK971351 TO ANZ FIDUCIARY SERVICES PTY LTD

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 09:31 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 9:31AM

FOLIO: 1/180283

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 4089 FOL 12

Recorded	Number	Type of Instrument	C.T. Issue
9/2/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
20/6/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
9/6/2005	AB542277	CHANGE OF NAME	EDITION 1
20/4/2012	AG862973	REQUEST	
28/2/2017	AK971351	LEASE	
28/2/2017	AK971352	SUB-LEASE	
28/2/2017	AK971502	MORTGAGE OF LEASE	
28/2/2017	AK971571	CHANGE OF NAME	
28/2/2017	AM167690	DEPARTMENTAL DEALING	EDITION 2

\*\*\* END OF SEARCH \*\*\*



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18/11/2021 09:36 AM

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Appt. No. 3186

Reference to Last Certificate,

Vol. 1374 Fol. 31

New South Wales



[CERTIFICATE OF TITLE.]

NO. B 580642

REGISTER BOOK.

VOL. 4089 FOL. 12

CANCELLED ☒ W

ON ISSUE OF NEW FOLIO 1/180283

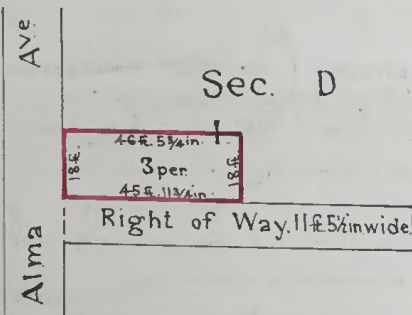
THE MUNICIPAL COUNCIL OF SYDNEY, is now the proprietor of an Estate in Fee Simple, \_\_\_\_\_

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated \_\_\_\_\_ in the Municipality of Marrickville Parish of Petersham, and County of Cumberland containing Three perches \_\_\_\_\_ or thereabouts, as shown in the Plan hereon and therein edged red, being also shown in Plan annexed to Instrument No. B 580642, being part of Lot 1 of Section D of the Fotheringham Estate, and being also part of 100 acres, delineated in the Public Map of the said parish in the Department of Lands, originally granted to Edward Laing by Crown Grant dated the 3rd day of October 1794. \_\_\_\_\_

In witness whereof I have hereunto signed my name and affixed my Seal, this *twelfth* day of *December* 19*27*.

Signed in the presence of *A. Murray*

Acting Registrar General



SCALE - 40 ft to one inch.

Notification referred to.

THE LAND WITHIN DESCRIBED IS LOT 1 IN D.P. 180283

Nº C 492,813. Application under Section 14 of the Real Property (Amendment) Act 1921. THE SYDNEY COUNTY COUNCIL is registered as proprietor of the land within described. Produced 27th. November 1936 and entered 7th. May 1937 at 12 o'clock noon.

*Reg. W. Miles*

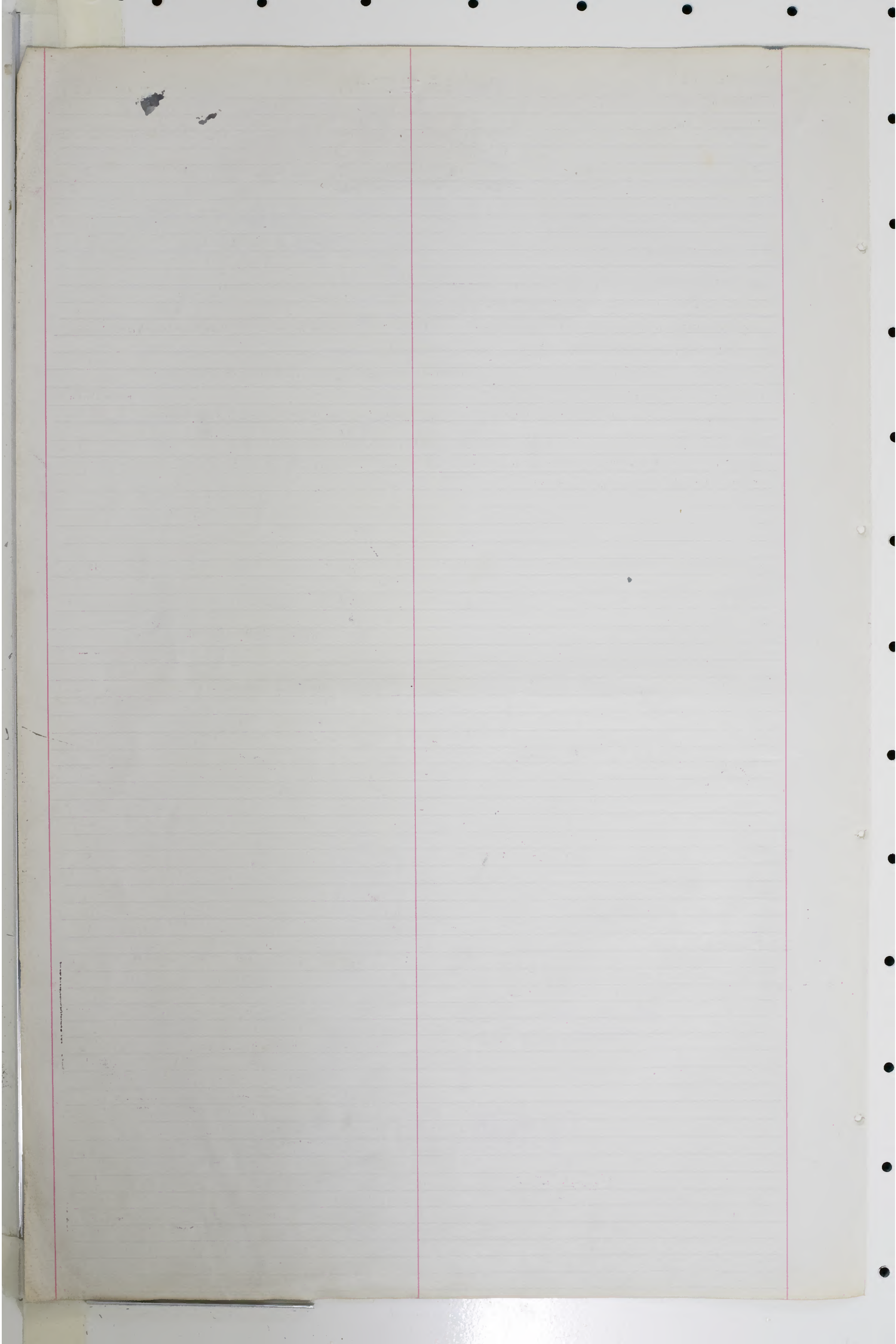
Registrar General



NO FURTHER DEALINGS TO BE REGISTERED

*C 492813R*





**Title Search**

18/11/2021 09:48 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/444675

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	9:49 AM	3	15/9/2018

LAND

LOT 1 IN DEPOSITED PLAN 444675

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP444675

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (T 2250314)

SECOND SCHEDULE (4 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY AFFECTING THE PART OF THE LAND ABOVE  
DESCRIBED SHOWN SO BURDENED IN VOL 7716 FOL 84
- 3 H204257 CROSS EASEMENTS (S.181B CONVEYANCING ACT, 1919)  
AFFECTING THE PARTY WALLS SHOWN ON THE COMMON BOUNDARY  
IN LOTS 1 & 2 IN DP444675
- 4 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*





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## Historical Search

18/11/2021 09:49 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 9:50AM

FOLIO: 1/444675

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 7716 FOL 84

Recorded	Number	Type of Instrument	C.T. Issue
27/11/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
1/5/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
24/6/1996	2250314	TRANSFER	EDITION 1
19/11/2013	AI173557	MORTGAGE	EDITION 2
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 3
		CORD ISSUED	

\*\*\* END OF SEARCH \*\*\*



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RP13



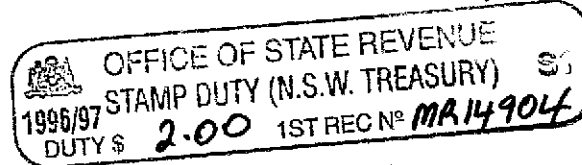
# TRANSFER

Real Property Act, 1900



2250314 B

Office of State Revenue use only



(A) **LAND TRANSFERRED**

Show no more than 20 References to Title.  
If appropriate, specify the share transferred.

FOLIO IDENTIFIER 1/444675

(B) **LODGED BY**

L.T.O. Box

640K

Name, Address or DX and Telephone

**SEARCHWIDE PTY. LIMITED**  
CITISITE HOUSE  
2ND FLOOR  
155 CASTLEREAGH STREET SYDNEY  
G.P.O. BOX 4381 SYDNEY 2001

TELEPHONE 021 3972

Reference (max. 15 characters):

AAC CYPRUS COM.

(C) **TRANSFEROR**

GEORGE STRATHIE

(D) acknowledges receipt of the consideration of \$85,000.00

and as regards the land specified above transfers to the transferee an estate in fee simple

(E) subject to the following **ENCUMBRANCES** 1. .... 2. .... 3. ....

(F) **TRANSFEE**



**CYPRUS COMMUNITY OF N.S.W. LIMITED**  
**A.C.N. 002 306 336**

(G) ~~as joint tenants in common~~

(H) We certify this dealing correct for the purposes of the Real Property Act, 1900

**DATE OF EXECUTION** 20 JUNE, 1996

Signed in my presence by the transferor who is personally known to me

*R. J. Ellis*

Signature of Witness

RONALD JOHN ELLIS

Name of Witness (BLOCK LETTERS)

10/59 EWOS Rd CRONULLA

Address of Witness

*G. Strathie*

Signature of Transferor

Signed in my presence by the transferee who is personally known to me

Signature of Witness

Name of Witness (BLOCK LETTERS)

Address of Witness

**JOHN CONSTANTINE SOLICITOR FOR TRANSFEE**

Signature of Transferee



## Title Search

18/11/2021 09:42 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/971516

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	9:43 AM	2	15/9/2018

### LAND

LOT 1 IN DEPOSITED PLAN 971516  
LOCAL GOVERNMENT AREA INNER WEST  
PARISH OF PETERSHAM COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP971516

### FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN A1173523)

### SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY AFFECTING THE LAND SHOWN SO BURDENED  
IN VOL 5171 FOL 193
- 3 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

### NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 09:43 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 9:44AM

FOLIO: 1/971516

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 5171 FOL 193

Recorded	Number	Type of Instrument	C.T. Issue
21/8/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
20/6/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
19/11/2013	AI173523	CHANGE OF NAME	
19/11/2013	AI173557	MORTGAGE	EDITION 1
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 2
		CORD ISSUED	

\*\*\* END OF SEARCH \*\*\*





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201.

Appn. No. 4487

Reference to last certificates

Vol. 4540 Fols 175 and 176

# New South Wales.



1986 10.89

[CERTIFICATE OF TITLE.]

REGISTER BOOK.

Vol. 5171 Fol. 193

**CANCELLED** ☒

ON ISSUE OF NEW FOLIO 1/971516

THOMAS IRVINE PARKER, of Sydney, Boilermaker, Transferee under Instrument of Transfer No. C930028 is now the proprietor of an Estate in Fee Simple, \_\_\_\_\_ subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Marrickville Sh 3. Parish of Petersham, and County of Cumberland containing Twenty six and three quarters perches or thereabouts as shown in the plan hereon and therein edged red being part of Lots 4 and 5 of Section D of the Fotheringham Estate and being also part of 100 acres originally granted to Edward Laing by Crown Grant dated the 3rd day of October 1794.

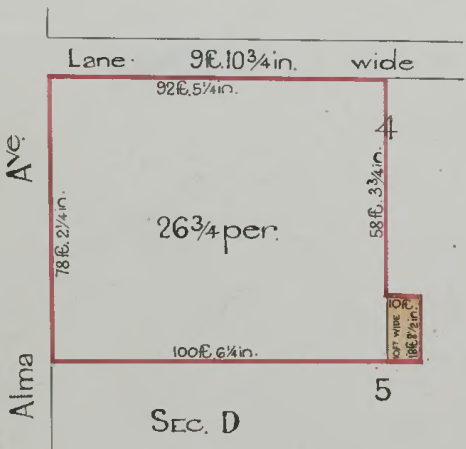
S  
GRY

658019

In witness whereof I have hereunto signed my name and affixed my Seal, this Thirteenth day of September, 1940.

Signed in the presence of W. Hedgcock

THE LAND WITHIN  
DESCRIBED IS  
LOT 1 D.P. 971516



Scale: 40ft. to one inch.

NOTIFICATION REFERRED TO

No. 345993 Grant of Right of Way over the piece of land 10 feet wide colored brown in the plan hereon.

Registrar General.

No. C 930029 MORTGAGE dated 22nd July 1940 from the said Thomas Irvine Parker to RURAL BANK OF NEW SOUTH WALES Produced and entered 27th September 1940 at 10 o'clock in the fore noon.

No. E259265 DISCHARGE of within mortgage No. C930029 dated 30th June 1950 Produced and entered 10th July 1950 at 4 o'clock in the afternoon.

No. E259266 MORTGAGE dated 30th June 1950 from the said Thomas Irvine Parker to RURAL BANK OF NEW SOUTH WALES Produced and entered 10th July 1950 at 4 o'clock in the afternoon.

MORTGAGE No. E259566 has been discharged. See C508214 Entered 24th May 1956

No. G508215 TRANSFER dated 18th April 1956 from the said Thomas Irvine Parker to Panagiotis Rigoglou of Marrickville Debours and Elaftheria Rigoglou his wife as joint tenants of the land within described Produced and entered 24th May 1956 at 3 o'clock in the afternoon.

C930029

193



No G 508216 MORTGAGE dated 18<sup>th</sup> April 1956  
from the said Panagiotis Rizoglou and Eleftheria  
Rizoglou to Thomas Stuart Barker of Sydney  
Boilermaker  
Produced and entered 24<sup>th</sup> May 1956  
34 mts ft. 3 o'clock in the afternoon.  
*J. H. Wells*  
REGISTRAR GENERAL.

92P  
V991171/1

REGISTERED PROPRIETOR *Desmond Francis O'Connor,*  
*Francis James Farrington and John Singleton as*  
*joint tenants by Notice of Death V991171, Transfer*  
*V991177 Registered 14.11.1985*

MORTGAGE No. G 508216 has been discharged.  
See G826987 Entered 31<sup>st</sup> October 1957.  
*J. H. Wells*  
REGISTRAR GENERAL.

D/M  
G826987

T684697 Caveat. V991177 Caveator consented. Registered  
14.11.1985  
*Cancelled*  
*X766063*  
*17.8.1988*

*Douglas Stuart Bain of Sydney Company*  
*Director is*  
now the registered proprietor of the land within described.  
See TRANSFER No. K957729 dated 15<sup>th</sup> February 1968  
Entered 26<sup>th</sup> February 1968.  
*Jaworski*  
REGISTRAR GENERAL.

REGISTERED PROPRIETOR *The Cyprian Community of*  
*N.S.W. Limited by Transfer X766068*  
*Registered 17.8.1988*

COMPUTER FOLIO  
DEALINGS TO BE REGISTERED.

NO FURTHER

*Joseph Vincent Bugler, Master Printer*  
*George Debnam, School Teacher and*  
*John Horace Kessey, Retired, all of Sydney are*  
now the registered proprietors of the land within described.  
as joint tenants  
See TRANSFER No. M213621 dated 15<sup>th</sup> March 1971  
Entered 19<sup>th</sup> April 1971  
*Jaworski*  
REGISTRAR GENERAL.

No. M437047 MORTGAGE dated 27<sup>th</sup> August 1971  
to Commonwealth Trading Bank of Australia  
Entered 30<sup>th</sup> September 1971  
*Discharged*  
*X766064*  
*17.8.1988*  
*Jaworski*  
REGISTRAR GENERAL.

T684697 Caveat by Kevin Emery Humphreys Kenneth Gibson Stephen  
and Alexander Ian Mackie Registered 13.9.1983  
*Withdrawn*  
*X766063*  
*17.8.1988*  
*Hammer*  
REGISTRAR GENERAL.

K957729-1A  
M213621-1A  
T684697-1A  
CT13-8-85

V991171 NID  
7 Te/R  
SMI (193)

X766063 Wx  
48m  
687R

**Title Search**

18/11/2021 10:04 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 2/444675

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	10:04 AM	2	15/9/2018

LAND

LOT 2 IN DEPOSITED PLAN 444675

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP444675

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN A1173523)

SECOND SCHEDULE (4 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY AFFECTING THE PART OF THE LAND ABOVE  
DESCRIBED SHOWN SO BURDENED IN VOL 7716 FOL 85
- 3 H204257 CROSS EASEMENTS (S.181B CONVEYANCING ACT, 1919)  
AFFECTING THE PARTY WALLS SHOWN ON THE COMMON BOUNDARY  
OF LOTS 2 & 3 AND LOTS 2 & 1 IN DP444675
- 4 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



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## Historical Search

18/11/2021 10:09 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 10:09AM

FOLIO: 2/444675

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 7716 FOL 85

Recorded	Number	Type of Instrument	C.T. Issue
27/11/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
1/5/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
19/11/2013	AI173523	CHANGE OF NAME	
19/11/2013	AI173557	MORTGAGE	EDITION 1
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 2
		CORD ISSUED	

\*\*\* END OF SEARCH \*\*\*





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202

New South Wales

[CERTIFICATE OF TITLE.]

Primary Appn. No. 4487  
Reference to Last Title  
Vol. 2250 Fol. 49  
Charting Map Marrickville Sheet A.



JOINT TENANCY  
REGISTER BOOK.  
VOL. 7716 FOL. 85  
Issued on Transfer No. H204257

**CANCELLED** W  
ON ISSUE OF NEW FOLIO 2/444675

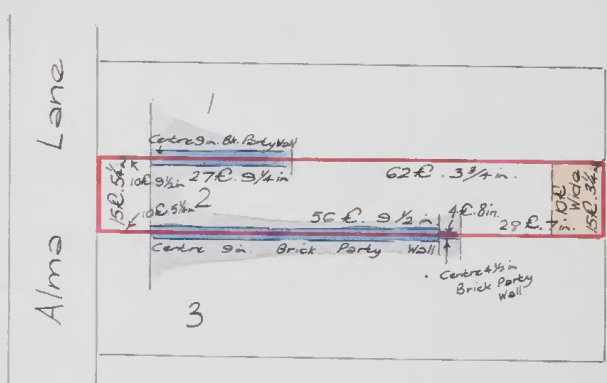
FREDERICK BEVERIDGE, of Marrickville, Bus Driver and EDITH PEARL AMELIA BEVERIDGE, his wife, are now the proprietors of an Estate in Fee Simple as Joint Tenants, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land in the Municipality of Marrickville Parish of Petersham, and County of Cumberland shown in the plan hereon and therein edged red being Lot 2 in plan lodged with Transfer No. H204257 and being part of 100 acres granted to Edward Laing on 3rd October 1794.

In witness whereof I have hereunto signed my name and affixed my Seal, this

Thirtieth day of June, 19 59.

Signed in the presence of *[Signature]*

*[Signature]*  
Registrar-General.



No. H204258 MORTGAGE dated 15th April 1957  
from the said Frederick Beveridge and Edith Pearl Amelia Beveridge to Margaret Cecelia Logan and Eva Constance Logan both of Faulconbridge, Shropshire  
Entered 17th July 1959  
*[Signature]*  
REGISTRAR GENERAL

H204257  
Area: 5 3/4 per.  
Scale: 30 feet to one inch.

NOTIFICATION REFERRED TO

Right of Way affecting the piece of land 10 feet wide coloured brown in plan hereon created by Transfer No. 345993.

*[Signature]*  
Registrar General.

Cross easements created by Transfer No. H204257 by the operation of Section 181B of the Conveyancing Act 1919-1954 in respect of the areas coloured blue in plan hereon.

*[Signature]*  
Registrar General.

MORTGAGE No. H204258 has been discharged.  
See K638149 Entered 13th April 19 67  
*[Signature]*  
REGISTRAR GENERAL

Douglas Stuart Bain of Henmore  
Company Director  
now the registered proprietor of the land within described.  
See TRANSFER No. L322007 dated 28th January 1969  
Entered 12th February 1969  
*[Signature]*  
REGISTRAR GENERAL

6711657  
now  
H204258 lot 2  
L322007-1a

85

50745 12.58 K 2006-1 V. C. N. Bligh, Government Printer  
Persons are cautioned against altering or adding to this Certificate or any notification thereon.



70  
M2136  
Joseph Vincent Bugler, Master Printer  
George Debnan School Teacher and John  
Horace Keasey, Retired all of Sydney are  
now the registered proprietor of the land within described.  
as joint tenants  
See TRANSFER No. M213621 dated 15th March 1971  
Entered 19th April 1971  
Jawatson  
REGISTRAR GENERAL

M  
M43704  
No. M437047 MORTGAGE dated 27th August 1971  
to Commonwealth Trading Bank of Australia  
Entered 20th September 1971  
Discharged  
X766064  
17.8.1988  
Jawatson  
REGISTRAR GENERAL

B  
T684697  
T684697 Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen  
and Alexander Ian Mackie Registered 13.9.1983  
Withdrawn  
X766063  
17.8.1988  
Bennie  
REGISTRAR GENERAL

RP  
V99  
REGISTERED PROPRIETOR Desmond Francis O'Connor,  
Francis James Farrington and John Singleton as  
joint tenants by Notice of Death V991172, Transfer  
V991174 Registered 14.11.1985

T684697 Caveat V991174 Caveator consented Registered  
14.11.1985  
Cancelled  
X766063  
17.8.1988

\*  
T684697  
REGISTERED PROPRIETOR The Cyprian Community  
of N.S.W. Limited by Transfer  
X766068 Registered 17.8.1988

COMPUTER FOLIO NO FURTHER  
DEALINGS TO BE REGISTERED.

M213621  
T684697  
CT 13-8-85

V991172 NID  
-4 Te/R  
X766063  
-4 DM/R  
-68 TR

M16 (85)

**Title Search**

18/11/2021 10:21 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 3/444675

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	10:21 AM	7	15/9/2018

LAND

LOT 3 IN DEPOSITED PLAN 444675

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP444675

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (T 5843833)

SECOND SCHEDULE (4 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY AFFECTING THE PART OF THE LAND ABOVE  
DESCRIBED SHOWN SO BURDENED IN VOL 7716 FOL 86
- 3 H204257 CROSS EASEMENTS (S.181B CONVEYANCING ACT, 1919)  
AFFECTING THE PARTY WALLS SHOWN ON THE COMMON BOUNDARY  
OF LOTS 3 & 2 IN DP444675
- 4 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 18/11/2021

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## Historical Search

18/11/2021 10:22 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 10:22AM

FOLIO: 3/444675

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 7716 FOL 86

Recorded	Number	Type of Instrument	C.T. Issue
27/11/1988		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
1/5/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
17/3/1999	5686927	TRANSMISSION APPLICATION	EDITION 1
14/4/1999	5747673	TRANSFER	
14/4/1999	5747674	MORTGAGE	EDITION 2
21/5/1999	5843832	DISCHARGE OF MORTGAGE	
21/5/1999	5843833	TRANSFER	EDITION 3
13/7/1999	5981959	MORTGAGE	EDITION 4
18/11/2002	9135535	DISCHARGE OF MORTGAGE	
18/11/2002	9135536	MORTGAGE	EDITION 5
19/11/2013	AI173553	DISCHARGE OF MORTGAGE	
19/11/2013	AI173557	MORTGAGE	EDITION 6
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 7 CORD ISSUED

\*\*\* END OF SEARCH \*\*\*





DI-E2728

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

18/11/2021 10:26 AM

© Office of the Registrar-General 2021



**TRANSFER**  
Real Property Act, 1900

5843833U



00.2\$ 20/906234200 40 SZ10 665012  
N.S.W. STAMP DUTY

(A) **LAND TRANSFERRED**

Show no more than 20 References to Title.  
If appropriate, specify the share transferred.

FOLIO IDENTIFIER 3/444675

(B) **LODGED BY**

L.T.O. Box

640K

Name, Address or DX and Telephone

**SEARCHWIDE PTY. LIMITED**  
CITISITE HOUSE  
2ND FLOOR  
155 CASTLEREAGH STREET SYDNEY  
G.P.O. BOX 4381 SYDNEY 2001

**AAC CYPRUS**

Reference (max. 15 characters):

TELEPHONE: 264-3922

(C) **TRANSFEROR**

AZIZ TAHAN

(D) acknowledges receipt of the consideration of \$180,000.00

and as regards the land specified above transfers to the transferee an estate in fee simple

(E) subject to the following **ENCUMBRANCES** 1. .... 2. .... 3. ....

(F) **TRANSFEE**

T

CYPRUS COMMUNITY OF N.S.W. LIMITED ACN 002 306 336

S

(G) as joint tenants/tenants in common

(H) We certify this dealing correct for the purposes of the Real Property Act, 1900

DATE OF EXECUTION 26 May 1999

Signed in my presence by the transferor who is personally known to me

*[Signature]*  
Signature of Witness

ANANDA J L CLARK  
Name of Witness (BLOCK LETTERS)

SOLICITOR, SYDNEY  
Address of Witness

*[Signature]*  
Signature of Transferor

Signed in my presence by the transferee who is personally known to me

Signature of Witness

Name of Witness (BLOCK LETTERS)

Address of Witness

*[Signature]*

(JOHN CONSTANTINE)

SOLICITOR FOR Signature of Transferee

**Title Search**

18/11/2021 11:29 AM

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/115287

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:30 AM	8	15/3/2021

LAND

LOT 1 IN DEPOSITED PLAN 115287

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP115287

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN AQ872604)

SECOND SCHEDULE (5 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 W177082 EASEMENT FOR OVERHANGING EAVES AND GUTTERING  
AFFECTING THE PART OF THE LAND WITHIN DESCRIBED SHOWN  
0.235 WIDE DESIGNATED (A) IN PLAN 'B' WITH W177082
- 3 W177082 EASEMENT FOR SUPPORT AFFECTING THE PART OF THE LAND  
WITHIN DESCRIBED SHOWN VARIABLE WIDTH DESIGNATED (B)  
IN PLAN 'B' WITH W177082
- 4 W177082 RIGHT OF WAY AFFECTING THE WHOLE OF THE LAND WITHIN  
DESCRIBED
- 5 AQ872603 MORTGAGE TO CYPRUS CAPITAL LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

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## Historical Search

18/11/2021 11:35 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

-----

18/11/2021 11:35AM

FOLIO: 1/115287

-----

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 14939 FOL 97

Recorded	Number	Type of Instrument	C.T. Issue
-----	-----	-----	-----
21/8/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
12/12/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
20/3/1989	Y247719	MORTGAGE	EDITION 1
8/8/1989	Y538303	DISCHARGE OF MORTGAGE	
8/8/1989	Y538304	DISCHARGE OF MORTGAGE	
8/8/1989	Y538306	TRANSFER	
8/8/1989	Y538307	MORTGAGE	EDITION 2
24/9/1996	2481407	DISCHARGE OF MORTGAGE	
24/9/1996	2481409	TRANSFER	
24/9/1996	2481410	MORTGAGE	EDITION 3
27/12/2007	AD663245	DISCHARGE OF MORTGAGE	
27/12/2007	AD663246	TRANSMISSION APPLICATION	EDITION 4
27/3/2008	AD848530	TRANSFER	
27/3/2008	AD848531	MORTGAGE	EDITION 5
19/11/2013	AI173535	DISCHARGE OF MORTGAGE	
19/11/2013	AI173536	TRANSFER	
19/11/2013	AI173557	MORTGAGE	EDITION 6
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 7
		CORD ISSUED	
15/3/2021	AQ872602	DISCHARGE OF MORTGAGE	
15/3/2021	AQ872604	CHANGE OF NAME	



15/3/2021 AQ872603 MORTGAGE

EDITION 8

\*\*\* END OF SEARCH \*\*\*

DI-E2728

PRINTED ON 18/11/2021

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

18/11/2021 11:41 AM

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Form: 01T  
Licence: 01-05-025  
Licensee: LEAP Legal Software Pty Limited  
Firm name: Constantine & Co

## TRANSFER

New South Wales  
Real Property Act 1900



AI173536K

**PRIVACY NOTE:** Section 31B of the Real Property Act 1900 (RP Act) authorises the Registrar-General to use the information provided by this form for the establishment and maintenance of the Real Property Act Register. Section 96B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any.

### STAMP DUTY

Office of State Revenue use only

Office of State Revenue	
NSW Treasury	374
Client No: 212432	
Duty: 10.00	Trans No: 7342671
Asst details: _____	

(A) **TORRENS TITLE**

FOLIO IDENTIFIER 1/115287 & 1/119242

(B) **LODGED BY**

Document Collection Box  8784	Name, Address or DX, Telephone, and Customer Account Number if any  LLPN:123635Q      JOSEPH P. SAAD 3 LO DX 8543 BUKWOOD TELEPHONE: 9763 1899	CODES  T  TW
	Reference: DELPHI. CYPRUS	

(C) **TRANSFEROR**

JULIA HELEN MITCHELL  
MARGARET ELLEN MCCABE

(D) **CONSIDERATION**

The transferor acknowledges receipt of the consideration of \$1,100,000.00 and as regards

(E) **ESTATE**

the abovementioned land transfers to the transferee an estate in fee simple.

(F) **SHARE**

(G) **TRANSFERRED**

Encumbrances (if applicable):

(H) **TRANSFEE**

CYPRUS COMMUNITY OF N.S.W LIMITED A.C.N 002 306 336

(I)

TENANCY:

**DATE**

do not date

(J) I certify I am an eligible witness and that the transferor signed this dealing in my presence.  
[See note\* below]

Certified correct for the purposes of the Real Property Act 1900 by the transferor.

Signature of witness:

*Monica Considine*

Signature of transferor:

*[Signature]*

Name of witness:

MONICA CONSIDINE

Address of witness:

29 NEWINGTON ROAD  
MARRICKVILLE  
NSW 2204

Certified correct for the purposes of the Real Property Act 1900 on behalf of the transferee by the person whose signature appears below.

Signature:

*[Signature]*

Signatory's name: Maria Pierou Sinanis

Signatory's capacity: Solicitor for the Transferee

(K) The transferee certifies that the eNOS data relevant to this dealing has been submitted and stored under  
eNOS ID No. \_\_\_\_\_ Full name: Maria Pierou Sinanis Signature: \_\_\_\_\_



## Title Search

18/11/2021 11:45 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/119242

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:45 AM	7	15/3/2021

### LAND

LOT 1 IN DEPOSITED PLAN 119242

AT STANMORE

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP119242

### FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN AQ872604)

### SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 W177082 EASEMENT FOR SUPPORT AFFECTING THE PART OF THE LAND  
ABOVE DESCRIBED SHOWN SO BURDENED IN PLAN WITH W177082
- 3 AQ872603 MORTGAGE TO CYPRUS CAPITAL LIMITED

### NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 11:47 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 11:47AM

FOLIO: 1/119242

First Title(s): OLD SYSTEM

Prior Title(s): VOL 1494 FOL 30

Recorded	Number	Type of Instrument	C.T. Issue
6/3/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
8/8/1989	Y538305	DISCHARGE OF MORTGAGE	
8/8/1989	Y538306	TRANSFER	
8/8/1989	Y538307	MORTGAGE	EDITION 1
24/9/1996	2481408	DISCHARGE OF MORTGAGE	
24/9/1996	2481409	TRANSFER	
24/9/1996	2481410	MORTGAGE	EDITION 2
27/12/2007	AD663245	DISCHARGE OF MORTGAGE	
27/12/2007	AD663246	TRANSMISSION APPLICATION	EDITION 3
27/3/2008	AD848530	TRANSFER	
27/3/2008	AD848531	MORTGAGE	EDITION 4
19/11/2013	AI173535	DISCHARGE OF MORTGAGE	
19/11/2013	AI173536	TRANSFER	
19/11/2013	AI173557	MORTGAGE	EDITION 5
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 6
		CORD ISSUED	
15/3/2021	AQ872602	DISCHARGE OF MORTGAGE	
15/3/2021	AQ872604	CHANGE OF NAME	
15/3/2021	AQ872603	MORTGAGE	EDITION 7

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 18/11/2021

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### Title Search

18/11/2021 11:49 AM

Client Reference: DI-E2728

#### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

-----

FOLIO: 1/301956

-----

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:49 AM	2	27/7/2009

#### LAND

-----

LOT 1 IN DEPOSITED PLAN 301956

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP301956

#### FIRST SCHEDULE

-----

CYPRUS COMMUNITY OF NSW LIMITED (T AE857611)

#### SECOND SCHEDULE (4 NOTIFICATIONS)

-----

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE LAND SHOWN AS 10 FEET WIDE IN  
DP922307
- 3 A719538 COVENANT
- 4 AE857614 MORTGAGE TO BANK OF CYPRUS AUSTRALIA LIMITED

#### NOTATIONS

-----

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*





DI-E2728

PRINTED ON 18/11/2021

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## Historical Search

18/11/2021 11:51 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

-----

18/11/2021 11:51AM

FOLIO: 1/301956

-----

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 10292 FOL 66

Recorded	Number	Type of Instrument	C.T. Issue
21/8/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
19/10/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
15/1/1992	E193051	DISCHARGE OF MORTGAGE	
15/1/1992	E193052	MORTGAGE	EDITION 1
27/7/2009	AE857610	DISCHARGE OF MORTGAGE	
27/7/2009	AE857611	TRANSFER	
27/7/2009	AE857614	MORTGAGE	EDITION 2

\*\*\* END OF SEARCH \*\*\*



DI-E2728

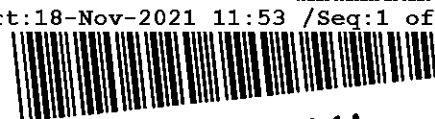
PRINTED ON 18/11/2021

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18/11/2021 11:56 AM

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AE857611L

Form: 01T  
Release: 3.6  
www.lands.nsw.gov.au

# TRANSFER

New South Wales  
Real Property Act 1900

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## STAMP DUTY

Office of State Revenue use only

Client No: 212432

Duty: \$10

Trans No: 5486756

2574

Asst details:

## (A) TORRENS TITLE

FOLIO IDENTIFIER 1/301956

## (B) LODGED BY

Document  
Collection  
Box

BOX 30P L J KANE & CO  
LLPN 123818G

Reference:

GNS - CYPRUS

CODES

T JT  
TJ TW

## (C) TRANSFEROR

MILORAD KLJAJIC  
NICOLE KLJAJIC

## (D) CONSIDERATION

The transferor acknowledges receipt of the consideration of \$ 800,000.00

and as regards

## (E) ESTATE

the above land transfers to the transferee an estate in fee simple

## (F) SHARE TRANSFERRED

## (G)

Encumbrances (if applicable):

## (H) TRANSFEE

CYPRUS COMMUNITY OF N.S.W. LIMITED ABN 37 002 306 336

## (I)

TENANCY:

## DATE

(J) I certify that the person(s) signing opposite, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.

Certified correct for the purposes of the Real Property Act 1900 by the person(s) named below who signed this instrument pursuant to the power of attorney specified.

Signature of witness:

*A Di Blasi*

Signature of attorney:

*Stephan Kljajic*

Name of witness:

*Anna Di Blasi*

Attorney's name:

STEPHAN KLJAJIC

Address of witness:

*2/35 Spring Street*

Signing on behalf of:

MILORAD KLJAJIC

*Bondi Junction NSW 2022*

Power of attorney-Book: 4517

-No.: 604

Certified correct for the purposes of the Real Property Act 1900 by the person whose signature appears below.

Signature:

*John Constantine*

Signatory's name:

JOHN CONSTANTINE

Signatory's capacity:

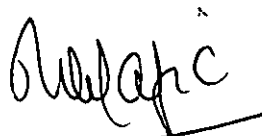
transferee's solicitor

## EXECUTION OF TRANSFER BY NICOLE KLJAJIC

I certify that the person(s) signing opposite,  
with whom I am presently acquainted or as to  
whose identity I am otherwise satisfied, signed  
this instrument in my presence.

Certified correct for the purpose of  
the Real Property Act 1900 by the  
transferor.

Signature of witness: *A. Di Blasi*

Signature of transferor: 

Name of witness: *Anna Di Blasi*  
Address of witness: *2/35 Spring Street*  
*Bondi Junction NSW 2022*

**Title Search**

18/11/2021 11:17 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/923826

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:17 AM	10	15/9/2018

LAND

LOT 1 IN DEPOSITED PLAN 923826

AT STANMORE

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP923826

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (T A1173545)

SECOND SCHEDULE (6 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 W177082 EASEMENT FOR OVERHANGING EAVE AND GUTTERING  
APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE  
LAND SHOWN AS "0.235 WIDE" DESIGNATED (A) IN PLAN "B"  
WITH W177082
- 3 W177082 EASEMENT FOR SUPPORT APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE LAND SHOWN AS "VARIABLE WIDTH"  
DESIGNATED (B) IN PLAN "B" WITH W177082
- 4 W177082 RIGHT OF WAY APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE PART OF LOT 1 IN DP115287
- 5 W177082 EASEMENT FOR SUPPORT APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE LAND SHOWN AS "VARIABLE WIDTH"  
DESIGNATED (D) IN PLAN "C" WITH W177082
- 6 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*





DI-E2728

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## Historical Search

18/11/2021 11:18 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 11:19AM

FOLIO: 1/923826

First Title(s): OLD SYSTEM

Prior Title(s): VOL 8296 FOL 142

Recorded	Number	Type of Instrument	C.T. Issue
16/2/1988	X317814	MORTGAGE	FOLIO CREATED
		EDITION 1	
20/2/1991		AMENDMENT: VOL FOL INDEX	
19/4/1995	O168754	MORTGAGE	EDITION 2
19/9/1995	O542844	DISCHARGE OF MORTGAGE	
19/9/1995	O542845	DISCHARGE OF MORTGAGE	
19/9/1995	O542846	TRANSFER	
19/9/1995	O542847	MORTGAGE	EDITION 3
22/3/1996	2035237	DISCHARGE OF MORTGAGE	
22/3/1996	2035238	TRANSFER	
22/3/1996	2035239	MORTGAGE	EDITION 4
5/6/2002	8645651	MORTGAGE	EDITION 5
28/8/2002	8904721	DISCHARGE OF MORTGAGE	
28/8/2002	8904722	TRANSFER	
28/8/2002	8904723	MORTGAGE	EDITION 6
7/11/2005	AB889498	CHANGE OF NAME	
7/11/2005	AB889499	MORTGAGE	EDITION 7
9/2/2010	AF301651	DISCHARGE OF MORTGAGE	
9/2/2010	AF301652	MORTGAGE	EDITION 8
19/11/2013	AI173544	DISCHARGE OF MORTGAGE	
19/11/2013	AI173545	TRANSFER	
19/11/2013	AI173557	MORTGAGE	EDITION 9



15/9/2018 AN713161 DEPARTMENTAL DEALING EDITION 10  
CORD ISSUED

\*\*\* END OF SEARCH \*\*\*

DI-E2728 PRINTED ON 18/11/2021

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

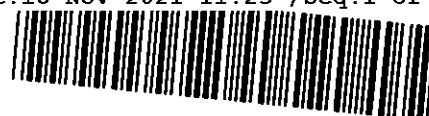
18/11/2021 11:24 AM

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Form: 01T  
Licence: 01-05-025  
Licensee: LEAP Legal Software Pty Limited  
Firm name: Constantine & Co

## TRANSFER

New South Wales  
Real Property Act 1900



AI173545J

**PRIVACY NOTE:** Section 31B of the Real Property Act 1900 (RP Act) authorises the Registrar General to collect the information required by this form for the establishment and maintenance of the Real Property Act Register. Section 86B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any.

### STAMP DUTY

Office of State Revenue use only

Office of State Revenue  
NSW Treasury  
Client No: 212432  
Duty: 10.10 Trans No: 374 7349622  
Assessment:

### (A) TORRENS TITLE

FOLIO IDENTIFIER 1/923826

### (B) LODGED BY

Document Collection Box 8784	Name, Address or DX, Telephone, and Customer Account Number if any LPN: 123635Q JOSEPH P. SHAD & CO DX 8543 BURWOOD TELEPHONE: 97631899 Reference: DELPHI. CYPRUS	CODES T TW
---------------------------------	---	------------------

### (C) TRANSFEROR

IAN PAUL HOLLISTER  
GILLIAN PAULA HOLLISTER

### (D) CONSIDERATION

The transferor acknowledges receipt of the consideration of \$1,100,000.00 and as regards

### (E) ESTATE

the abovementioned land transfers to the transferee an estate in fee simple.

### (F) SHARE

### TRANSFERRED

### (G)

Encumbrances (if applicable):

### (H) TRANSFEE

CYPRUS COMMUNITY OF N.S.W LIMITED A.C.N 002 306 336

### (I)

TENANCY:

### DATE

do not date

(J) I certify I am an eligible witness and that the transferor signed this dealing in my presence.  
[See note\* below]

Certified correct for the purposes of the Real Property Act 1900 by the transferor.

Signature of witness:

Name of witness:

Address of witness:

*[Signature]*  
CRAIG JOHN COOPER  
32 WAKOOL CRES  
WOONGARRAH  
NSW 2259.

Signature of transferor:

*[Signature]*  
Certified correct for the purposes of the Real Property Act 1900 on behalf of the transferee by the person whose signature appears below.

Signature:

Signatory's name: Maria Pierou Sinanis

Signatory's capacity: Solicitor for the Transferee

(K) The transferee certifies that the eNOS data relevant to this dealing has been submitted and stored under  
eNOS ID No. Full name: Maria Pierou Sinanis Signature:



## Title Search

18/11/2021 12:28 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/167529

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	12:29 PM	2	15/9/2018

#### LAND

LOT 1 IN DEPOSITED PLAN 167529

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP167529

#### FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN A1173523)

#### SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE RIGHT OF WAY 10 FT WIDE SHOWN  
IN DP167529
- 3 A1173557 MORTGAGE TO BENDIGO AND ADELAIDE BANK LIMITED

#### NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 12:29 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 12:29PM

FOLIO: 1/167529

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 3157 FOL 151

Recorded	Number	Type of Instrument	C.T. Issue
18/2/1989		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
7/6/1990		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
19/11/2013	AI173523	CHANGE OF NAME	
19/11/2013	AI173557	MORTGAGE	EDITION 1
15/9/2018	AN713161	DEPARTMENTAL DEALING	EDITION 2
		CORD ISSUED	

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
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18/11/2021 12:33 PM

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New South Wales.

9154-2 7183

[CERTIFICATE OF TITLE.]

Appn. No. 3097 & 4487

Reference to last certificate

Vol. 868. Fol. 200 -  
1416 - 201 -



Joint Tenancy

REGISTER BOOK,

VOL. 3157. Fol. 151

CANCELLED W

ON ISSUE OF NEW FOLIO 1/167529.

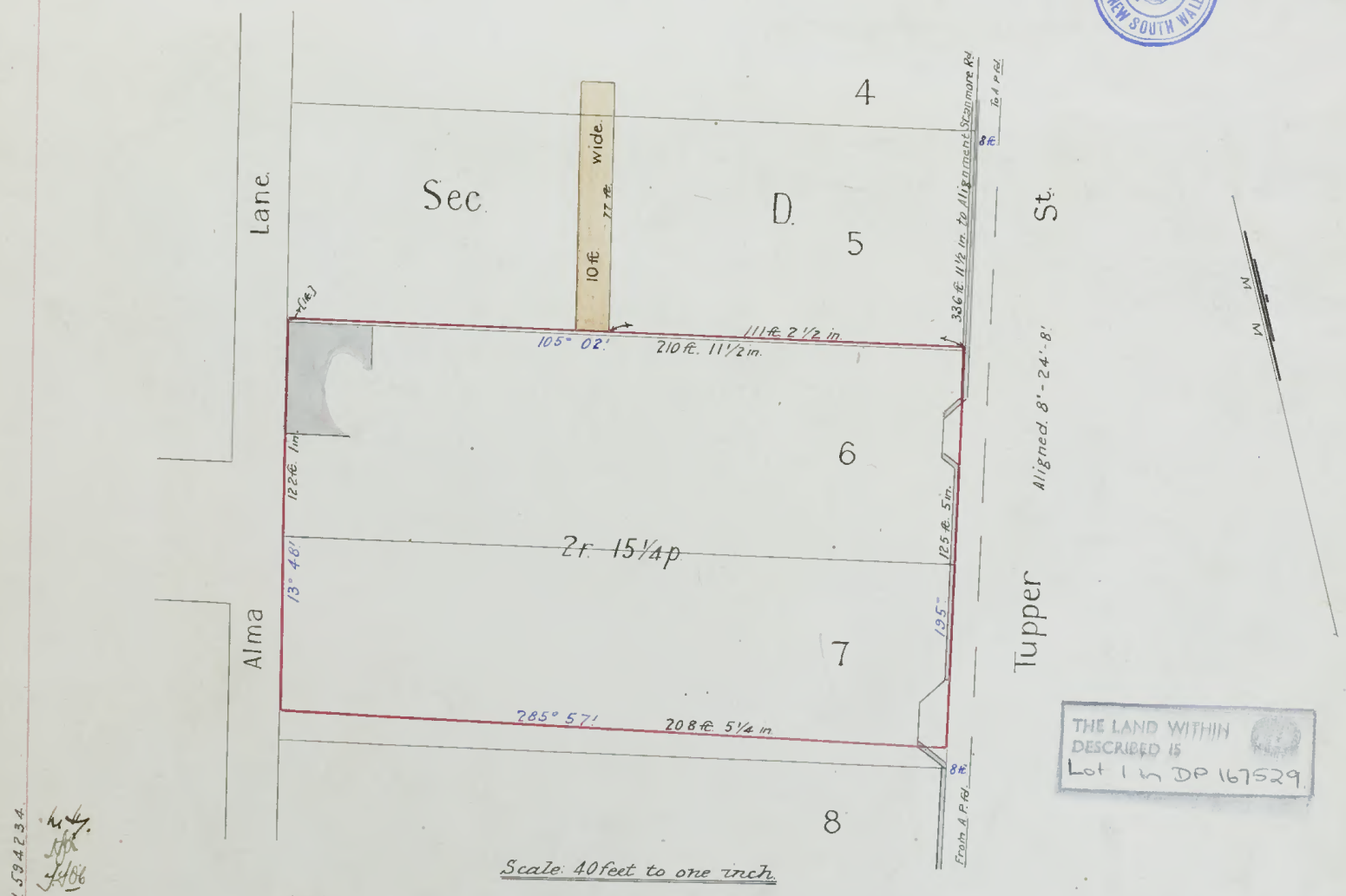
Helen Wilson Fell of North Sydney Widow Russell Sinclair of North Sydney Merchant and Frederick Augustus Darling of  
Wollstonecraft Minister of Religion Transfers under Instrument of Transfer from Perpetual Trusts Company Limited N<sup>o</sup> A 594234 are now the  
proprietors of an estate in fee simple as joint Tenants

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances,  
liens and interests, as are notified hereon, in that piece of land situated  
in the Municipality of Marrickville Parish of Petersham, and County of Cumberland  
containing Two rods fifteen and one quarter perches, or thereabouts,  
as shown in the Plan hereon and therein edged red, being also shown in plan annexed to the said Instrument of Transfer N<sup>o</sup> A 594234 being  
Lot 6 and part of Lots 5 and 7 of Section D of the Fotheringham Estate and being also part of One hundred acres delineated in the public  
map of the said parish in the Department of Lands originally granted to Edward Lang by Crown Grant dated the third day of October one  
thousand seven hundred and ninety four

In witness whereof, I have hereunto signed my name and affixed my Seal, this 16<sup>th</sup> day of February 1921

Signed in the presence of H. McKay } W. H. Kilgus

Registrar General.



THE LAND WITHIN DESCRIBED IS Lot 1 in DP 167529.

Notification referred to  
N<sup>o</sup> 345993 Grant of Right of Way as appurtenant to the part of Lot 5  
of Section D of the Fotheringham Estate above described over the piece of  
land 10 feet wide colored brown in the plan hereon

W. H. Kilgus  
Registrar General



No. A. 594235. MORTGAGE dated 30<sup>th</sup> April 1920  
from the said Helen Wilson Fell, Russell Sinclair and  
Frederick Augustus Darling to the Trustees of  
the Presbyterian Church of Australia in the  
State of New South Wales  
Produced and entered 25<sup>th</sup> February 1921  
at 10 o'clock in the fore noon.  
W. H. Kilgus  
REGISTRAR GENERAL





15

No. A 887915 DISCHARGE of within Mortgage  
A594235 dated 10<sup>th</sup> November 1922  
Produced 8<sup>th</sup> December 1922 and entered  
8<sup>th</sup> December 1922  
at 7<sup>th</sup> 1/2 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. A 887916 TRANSFER dated 30<sup>th</sup> November 1922  
from the said Helen Wilson Sell Russell Sinclair  
and Frederick Augustus Darling & Elizabeth Mary  
Goodlet of Ashfield Widow and the said Helen Wilson  
Sell and Russell Sinclair as joint tenants of the land within described  
Produced and entered 8<sup>th</sup> December 1922  
at 7<sup>th</sup> 1/2 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. A 887917 MORTGAGE dated 30<sup>th</sup> November 1922  
from the said Helen Wilson Sell Russell Sinclair and  
Elizabeth Mary Goodlet to the Trustees of the  
Presbyterian Church of Australia in the State of  
New South Wales  
Produced and entered 8<sup>th</sup> December 1922  
at 7<sup>th</sup> 1/2 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. B570083 NOTICE of DEATH. Proof having been furnished  
to me of the death of the said *Elizabeth Mary Goodlet*  
the surviving Joint Tenants *Helen Wilson Sell and Russell*  
are now registered sole proprietor of the Land within described.  
Produced and entered 6<sup>th</sup> October 1927  
at 12<sup>th</sup> 1/2 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. B570084 TRANSFER dated 10<sup>th</sup> September 1927  
from the said *Helen Wilson Sell and Russell*  
Sinclair to *Ada Mayland McPherson* wife of *Thomas McPherson*  
a company company director and the said *Elizabeth Mary*  
Goodlet as joint tenants of the land within described  
Produced and entered 6<sup>th</sup> October 1927  
at 12<sup>th</sup> 1/2 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. D159459 NOTICE of DEATH. Proof having been furnished  
to me of the death of the said *Russell Sinclair*  
the surviving Joint Tenant *Ada Mayland McPherson*  
is now registered sole proprietor of the land within described  
Produced and entered 14<sup>th</sup> November 1942  
at 12 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. D167685 DISCHARGE of within mortgage  
A887917 dated 16<sup>th</sup> November 1942  
Produced 6<sup>th</sup> November 1942 and entered 14<sup>th</sup> November 1942  
at 12 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

No. D159460 TRANSFER dated 10<sup>th</sup> September 1942  
from the said *Ada Mayland McPherson* to the  
Presbyterian Church (New South Wales) Property  
Trust of the land within described  
Produced 14<sup>th</sup> October 1942 and entered 14<sup>th</sup> November 1942  
at 12 o'clock in the afternoon.  
*Boothell*  
REGISTRAR GENERAL

*Douglas Stuart Bain of Sydney Company*  
Director is  
now the registered proprietor of land within described.  
See TRANSFER No. A556698 dated 22<sup>nd</sup> December 1966  
Entered 18<sup>th</sup> January 1967  
*Lawson*  
REGISTRAR GENERAL

*Joseph Vincent Bugler Master Painter, George*  
*Delaney School Teacher and John Harris*  
*Leaseholder all of Sydney and*  
now the registered proprietors of the land within described.  
as joint tenants  
See TRANSFER No. L29762 dated 24<sup>th</sup> January 1968  
Entered 9<sup>th</sup> May 1968  
*Lawson*  
REGISTRAR GENERAL

No. L29763 MORTGAGE dated 30<sup>th</sup> April 1968  
to *Commonwealth Trading Bank of*  
*Australia*  
Entered 9<sup>th</sup> May 1968  
*Discharged*  
*X 766066*  
*17.8.1988*  
*Lawson*  
REGISTRAR GENERAL

T684087 Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen  
and Alexander Ian Mackie Registered 13.9.1988  
*Withdrawn*  
*X 766063*  
*17.8.1988*  
*Lawson*  
REGISTRAR GENERAL

RP  
V99  
16  
REGISTERED PROPRIETOR *Diamond Francis O'Conner*  
*Francis James Farrington and John Singleton*  
as joint tenants & Notice of Death V991173,  
Transfer V991176 Registered 14.11.1985

p  
T684697 Caveat V991176 Transfer Caveator consented  
Registered 14.11.1985  
*Cancelled*  
*X 766063*  
*17.8.1988*

\*  
REGISTERED PROPRIETOR *The Cyprian Community*  
*of N.S.W. Limited by Transfer X 766068*  
Registered 17.8.1988

COMPUTER FOLIO NO FURTHER  
DEALINGS TO BE REGISTERED.

15  
1604697764  
CT 13-8-85  
V991173ND  
-6 TC/R  
X 766063  
-68 PM R



**Title Search**

18/11/2021 12:18 PM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 2/301956

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	12:18 PM	7	20/12/2012

LAND

LOT 2 IN DEPOSITED PLAN 301956  
AT MARRICKVILLE  
LOCAL GOVERNMENT AREA INNER WEST  
PARISH OF PETERSHAM COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP301956

FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (T AH454967)

SECOND SCHEDULE (4 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 345993 RIGHT OF WAY APPURTENANT TO THE LAND ABOVE  
DESCRIBED AFFECTING THE LAND SHOWN IN DP922307
- 3 A724708 COVENANT
- 4 AH454968 MORTGAGE TO DELPHI BANK

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 12:18 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 12:18PM

FOLIO: 2/301956

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 15436 FOL 232

Recorded	Number	Type of Instrument	C.T. Issue
21/8/1988		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
21/12/1988		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
31/1/1991	Z472781	DISCHARGE OF MORTGAGE	
31/1/1991	Z472782	MORTGAGE	EDITION 1
12/4/1994	U173198	DISCHARGE OF MORTGAGE	
12/4/1994	U173199	MORTGAGE	EDITION 2
21/4/1997	2989813	DISCHARGE OF MORTGAGE	
21/4/1997	2989814	MORTGAGE	EDITION 3
23/7/2002	8798339	DISCHARGE OF MORTGAGE	
23/7/2002	8798340	TRANSFER	
23/7/2002	8798341	MORTGAGE	EDITION 4
13/5/2003	9602642	MORTGAGE	EDITION 5
28/6/2007	AD231576	DISCHARGE OF MORTGAGE	EDITION 6
20/12/2012	AH454966	DISCHARGE OF MORTGAGE	
20/12/2012	AH454967	TRANSFER	
20/12/2012	AH454968	MORTGAGE	EDITION 7

\*\*\* END OF SEARCH \*\*\*





DI-E2728

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## Title Search

18/11/2021 11:00 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: C/308880

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:01 AM	3	15/3/2021

### LAND

LOT C IN DEPOSITED PLAN 308880  
LOCAL GOVERNMENT AREA INNER WEST  
PARISH OF PETERSHAM COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP308880

### FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN AQ872604)

### SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 AE857614 MORTGAGE TO BANK OF CYPRUS AUSTRALIA LIMITED
- 3 AQ872603 MORTGAGE TO CYPRUS CAPITAL LIMITED

### NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

18/11/2021 11:05 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 11:05AM

FOLIO: C/308880

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 3577 FOL 159

Recorded	Number	Type of Instrument	C.T. Issue
2/9/1989		TITLE AUTOMATION PROJECT	LOT RECORDED
		FOLIO NOT CREATED	
25/6/1990		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	
15/1/1992	E193053	DISCHARGE OF MORTGAGE	
15/1/1992	E193054	MORTGAGE	EDITION 1
27/7/2009	AE857612	DISCHARGE OF MORTGAGE	
27/7/2009	AE857613	TRANSFER	
27/7/2009	AE857614	MORTGAGE	EDITION 2
15/3/2021	AQ872604	CHANGE OF NAME	
15/3/2021	AQ872603	MORTGAGE	EDITION 3

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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18/11/2021 11:08 AM

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Form: 01T  
Release: 3.6  
www.lands.nsw.gov.au

# TRANSFER

New South Wales  
Real Property Act 1900

AE857613G

**PRIVACY NOTE:** Section 31B of the Real Property Act 1900 (RP Act) authorises the Registrar General to collect the information required by this form for the establishment and maintenance of the Real Property Act Register. Section 96B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any.

## STAMP DUTY

Office of State Revenue use only

Office of State Revenue  
NSW Treasury

Client No: 212432

2574

Duty: 10 - Trans No: 5486739

Asst details: \_\_\_\_\_

## (A) TORRENS TITLE

FOLIO IDENTIFIER C/308880

## (B) LODGED BY

Document  
Collection  
Box

Name, Address or DX, Telephone, and Customer Account Number if any

BOX 30P L J KANE & CO  
LLPN 123818G

Reference:

CNS - CYPRUS

## CODES

T JT  
TJ TW

## (C) TRANSFEROR

NICOLE KLJAJIC

## (D) CONSIDERATION

The transferor acknowledges receipt of the consideration of \$ 650,000.00

and as regards

## (E) ESTATE

the above land transfers to the transferee an estate in fee simple

## (F) SHARE TRANSFERRED

## (G)

Encumbrances (if applicable):

## (H) TRANSFEE

CYPRUS COMMUNITY OF N.S.W. LIMITED ABN 37 002 306 336

## (I)

TENANCY:

## DATE

(J) I certify that the person(s) signing opposite, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.

Certified correct for the purposes of the Real Property Act 1900 by the transferor.

Signature of witness:

*A. H. Blom*

Signature of transferor:

*Nicole Kljajic*

Name of witness:

*Anna Di Blasi*

Address of witness:

*2/35 Spring Street*

*Bondi Junction NSW 2022*

Certified correct for the purposes of the Real Property Act 1900 by the person whose signature appears below.

Signature:

*John Constantine*

Signatory's name:

JOHN CONSTANTINE

Signatory's capacity:

transferee's solicitor



## Title Search

18/11/2021 11:09 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: D/308880

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	11:09 AM	4	15/3/2021

### LAND

LOT D IN DEPOSITED PLAN 308880

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP308880

### FIRST SCHEDULE

CYPRUS COMMUNITY OF N.S.W. LIMITED (CN AQ872604)

### SECOND SCHEDULE (3 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 AE857614 MORTGAGE TO BANK OF CYPRUS AUSTRALIA LIMITED
- 3 AQ872603 MORTGAGE TO CYPRUS CAPITAL LIMITED

### NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*





DI-E2728

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## Historical Search

18/11/2021 11:09 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 11:10AM

FOLIO: D/308880

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 3577 FOL 160

Recorded	Number	Type of Instrument	C.T. Issue
2/9/1989		TITLE AUTOMATION PROJECT	LOT RECORDED FOLIO NOT CREATED
25/6/1990		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED CT NOT ISSUED
15/1/1992	E193055	DISCHARGE OF MORTGAGE	
15/1/1992	E193056	MORTGAGE	EDITION 1
26/9/2007	AD442889	DISCHARGE OF MORTGAGE	
26/9/2007	AD442890	TRANSFER	EDITION 2
27/7/2009	AE857614	MORTGAGE	EDITION 3
15/3/2021	AQ872604	CHANGE OF NAME	
15/3/2021	AQ872603	MORTGAGE	EDITION 4

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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18/11/2021 11:12 AM

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Form: 01T  
Release: 3.1  
www.lands.nsw.gov.au

# TRANSFER

New South Wales  
Real Property Act 1900



AD442890S

**PRIVACY NOTE:** Section 31B of the Real Property Act 1900 (RP Act) authorises (by this form for the establishment and maintenance of the Real Property Act Register, Section 96B RP Act requires that the Register is made available to any person for search upon payment of a fee, if any).

## STAMP DUTY

Office of State Revenue use only

NSW Treasury

Client No: 212432 2574

Duty: \$2- Trans No: 4556813

Asst details:

## (A) TORRENS TITLE

FOLIO IDENTIFIER D/308880

## (B) LODGED BY

Document Collection Box  
Name, Address or DX and Telephone  
BOX 30P LJ KANE & CO  
LLPN 123818G

## CODES

T  
TW  
(Sheriff)

Reference: JCONS - CYPRUS

## (C) TRANSFEROR

MILORAD KLJAJIC

(D) **CONSIDERATION** The transferor acknowledges receipt of the consideration of \$ 665,000.00 and as regards

(E) **ESTATE** the land specified above transfers to the transferee an estate in fee simple

(F) **SHARE TRANSFERRED**

(G) **Encumbrances (if applicable):**

(H) **TRANSFeree** CYPRUS COMMUNITY OF N.S.W. LIMITED ABN 37 002 306 336

(I) **TENANCY:**

DATE

(J) I certify that the person(s) signing opposite, with whom I am personally acquainted or as to whose identity I am otherwise satisfied, signed this instrument in my presence.

Certified correct for the purposes of the Real Property Act 1900 by the person(s) named below who signed this instrument pursuant to the power of attorney specified.

Signature of witness:

*Anna Di Blasi*

Signature of attorney:

*Stephan Kljajic*

Name of witness:

Anna Di Blasi

Attorney's name:

STEPHAN KLJAJIC

Address of witness:

2/35 Spring Street  
Bondi Junction NSW 2022

Signing on behalf of:

MILORAD KLJAJIC

Power of attorney-Book:

4517

-No.:

604

Certified correct for the purposes of the Real Property Act 1900 by the person whose signature appears below.

Signature:

*John Constantine*

Signatory's name:

JOHN CONSTANTINE

Signatory's capacity:

transferee's solicitor

**Title Search**

17/11/2021 03:41 PM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/105806

SEARCH DATE	TIME	EDITION NO	DATE
17/11/2021	3:41 PM	-	-

VOL 10539 FOL 53 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LOT 1 IN DEPOSITED PLAN 105806

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP105806

FIRST SCHEDULE

THE CYPRIAN COMMUNITY OF N.S.W. LIMITED

SECOND SCHEDULE (2 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- \* 2 M586922 RIGHT OF WAY AFFECTING THAT PART OF THE LAND WITHIN  
DESCRIBED SHOWN AS 1.219 METRES WIDE IN THE PLAN WITH  
TRANSFER M586922

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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## Historical Search

17/11/2021 03:42 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

-----

17/11/2021 3:42PM

FOLIO: 1/105806

-----

First Title(s): OLD SYSTEM

Prior Title(s): VOL 10539 FOL 53

Recorded	Number	Type of Instrument	C.T. Issue
29/4/1991		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 17/11/2021

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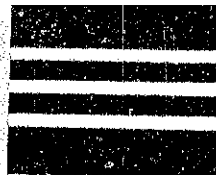


**LAND  
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17/11/2021 03:53 PM

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**CERTIFICATE OF TITLE**  
**PROPERTY ACT, 1900, as amended.**



10539053

NEW SOUTH WALES

Appln. No.3186

Prior Title Vol.1396 Fol.112

Vol. 10539 Fol. 53

Edition issued 20-4-1967

AS K597976



I certify that the person described in the First Schedule is the registered proprietor of the undermentioned estate in the land within described subject nevertheless to such exceptions encumbrances and interests as are shown in the Second Schedule.

Witness *M. S. Alter*

*J. J. Jackson*  
Registrar General.

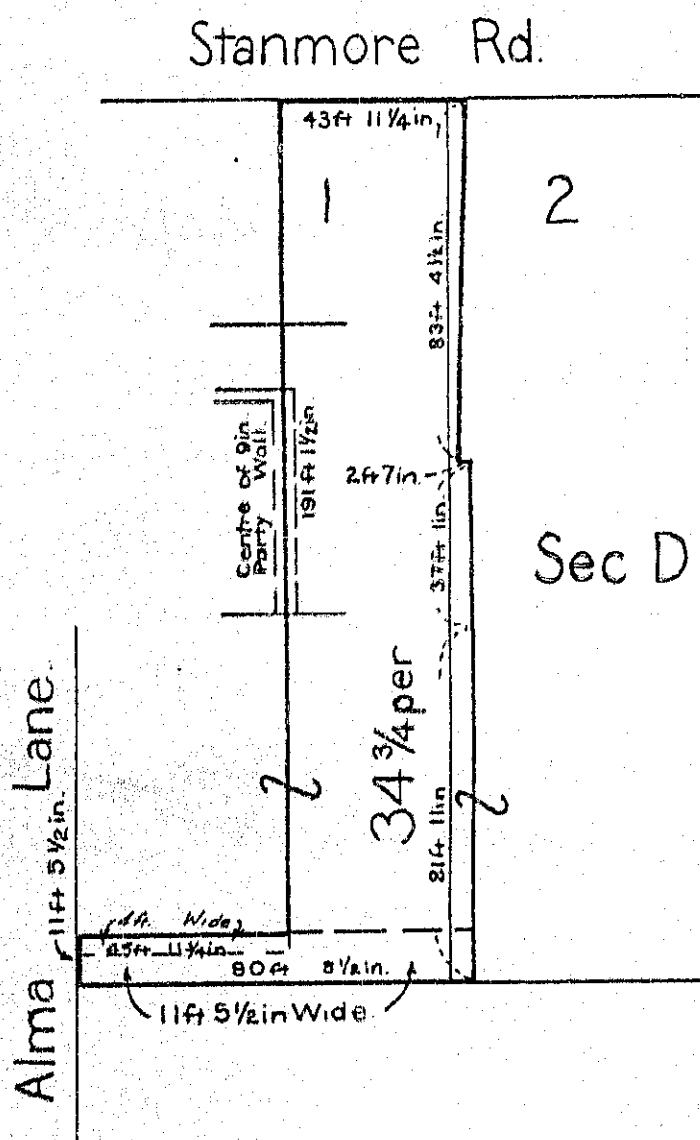


PLAN SHOWING LOCATION OF LAND

**CANCELLED**

ON ISSUE OF

AUTO FOLIO  
1/105806



THE LAND WITHIN  
DESCRIBED IS  
LOT 1 DP 105806

Scale 50 feet to one inch.

ESTATE AND LAND REFERRED TO

Estate in Fee Simple in the land shown in plan lodged with Transfer No.338988 (Filed as F.P.105806) in the Municipality of Marrickville Parish of Petersham and County of Cumberland being the part of Lots 1 and 2 of Section D of the Fotheringham Estate shown in the plan hereon and being also part of 100 acres granted to **Edward Laing on 3-10-1794.**

FIRST SCHEDULE (continued overleaf)

~~JOSEPH VINCENT BUGLER of Enmore, Master Printer, GEORGE SEDNAM of Padstow, School Teacher and JOHN HORACE KESSEY of Canterbury, Machine Operator as Joint Proprietors.~~

SECOND SCHEDULE (continued overleaf)

1. Reservations and conditions, if any, contained in the Crown Grant above referred to.
2. ~~Right of way created by Transfer No. 338988 affecting the piece of land 11 feet 5 1/2 inches wide shown in the plan hereon. V991180~~

*J. J. Jackson*  
Registrar General





PT 1,17 V.C.N. Blight, Government Printer

FIRST SCHEDULE (continued)

REGISTERED PROPRIETOR		INSTRUMENT		ENTERED	Signature of Registrar-General
NATURE	NUMBER	DATE			
Notice of Death V991172.					
Desmond Francis O'Connor, Francis James Farrington and John Singleton as joint tenants by Transfer V991174. Registered 14.11.1985.					
The Cyprian Community of N.S.W. Limited by Transfer X766063. Registered 17.8.1988.					
CANCELLED					
ON ISSUE OF					
AUTO FOLIO					
1/105806					

SECOND SCHEDULE (continued)

INSTRUMENT		PARTICULARS	ENTERED	Signature of Registrar-General	CANCELLATION
NATURE	NUMBER	DATE			
Transfer	1684697	11.5.1971	11.5.1971	James	Discharged X766067
Right of way affecting that part of the land within described shown as "4 feet wide" in the plan hereon (with consent of mortgagee)					
Caveat	1684697	11.5.1971	11.5.1971	James	Withdrawn X766063
Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen, Alexander Ian MacKinnon Registered 13.9.1983.					
Caveat	1684697	11.5.1971	11.5.1971	James	Cancelled X766063
Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen, Alexander Ian MacKinnon Registered 13.9.1983.					

NOTE: ENTRIES RULED THROUGH AND AUTHENTICATED BY THE SEAL OF THE REGISTRAR GENERAL ARE CANCELLED

6594111  
20-1-72  
17586934  
1684697  
CT 13-8-8  
V991172  
-180  
X766063  
-67000  
-871



**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
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# CERTIFICATE OF TITLE.

(C.)

New South Wales.

[Reference to last Certificate  
Vol. 578 Folio 6]



CANCELLED W

REGISTER BOOK,

Vol. 1396 Folio 112

Jessy Ellen Pearce

of Stanmore Spinster Transfers under Instrument of Transfer  
Numbered 338988 from The City Bank of Sydney Mortgage exercising  
power of sale is now the proprietor of an estate in fee simple Subject nevertheless to the reservations and conditions  
if any contained in the Grant hereinafter referred to and also subject to such encumbrances liens and interests  
as are notified thereon in that piece of land situated in the Borough of Marrickville Parish of Becham  
and County of Cumberland containing thirty four and three quarters perches or thereabouts commencing  
on the South Western side of Stanmore Road at the North Eastern corner of E. J. Wallther's thirty four perches  
and bounded thence on the North East by that Road bearing South easterly forty three feet eleven and one  
quarter inches to land of Ann Lee thence by that land being lines bearing South westerly eighty three feet four and  
one half inches South easterly two feet seven inches again South westerly thirty seven feet one inch and eighty one feet  
eleven inches and North westerly ninety feet eight and one half inches to the said Land on the North West by that land bearing North easterly  
eleven feet five and one half inches to E. J. Wallther's thirty four perches aforesaid again on the North East and again on the North West by  
that land being lines bearing South easterly forty five feet eleven and three quarters inches and North easterly One hundred and ninety  
one feet one and one half inches partly passing through the centre of a nine inch party wall to the point of commencement as  
shown on the plan hereon and thence edged red being part of lots one and two of Section D of the  
Wetheringham Estate and also part of one hundred acres delineated in the public Map of the said  
Parish deposited in the Department of Lands originally granted to Edward Laing by Crown Grant  
dated the third day of October One thousand seven hundred and ninety four

In witness whereof, I have hereunto signed my name and affixed my Seal, this eight day of April one thousand nine hundred and two

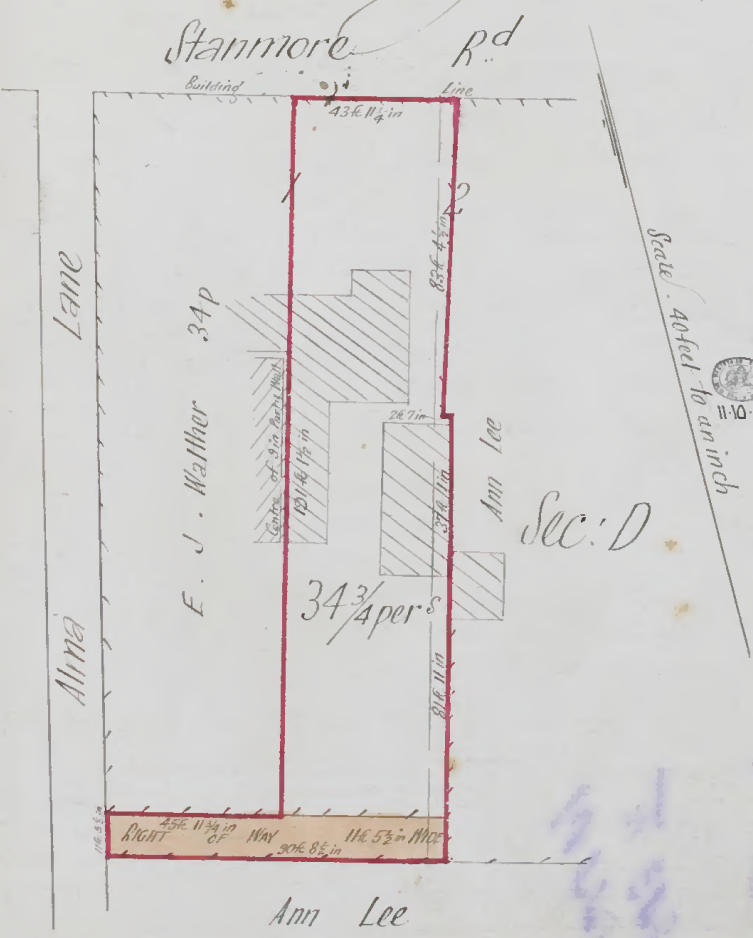
Signed the 8th day of April 1902

in the presence of

H. Johnson C. P. Keen



Deputy Registrar General.



NOTIFICATION REFERRED TO.

Reserving to the said Ann Lee her heirs and assigns  
and the said City Bank of Sydney and its successors  
and assigns a right of way over the right of Way  
11 feet 5 1/2 inches wide edged brown on plan hereon  
created by Transfer No 56542

Deputy Registrar General

NO. 338989 MORTGAGE DATED 12 October 1901  
FROM THE SAID Jessy Ellen Pearce  
To Sydney John Bull of  
Sydney Solicitor  
March 2 188 to 13  
fore noon and entered 8 April 1902  
AT 4 O'CLOCK IN THE afternoon  
Deputy Registrar General



No. A 35963 DISCHARGE of within Mortgage  
No. 338989 Dated 11<sup>th</sup> May 1913  
Produced 3<sup>rd</sup> July 1913 and entered 3<sup>rd</sup> July 1913  
at 11<sup>th</sup> o'clock in the afternoon  
*Notkelianus*  
REGISTRAR GENERAL

No. A 35964 TRANSFER dated 3<sup>rd</sup> July 1913  
from the said *Jessy Ellen Herr wife of John Younger Herr of Sydney Building Society Manager (but formerly Jessy Ellen Barrer of Stanmore Spender) to Isabel Barrer of Stanmore Widow* of the land within described  
Produced and entered 3<sup>rd</sup> July 1913  
at 2<sup>nd</sup> o'clock in the afternoon  
*Notkelianus*  
REGISTRAR GENERAL

No. A 38118 MORTGAGE dated 30<sup>th</sup> June 1913  
from the said *Isabel Burns* for *Jessy Ellen Herr wife of John Younger Herr of Sydney Building Society Manager*  
Produced 14<sup>th</sup> July 1913 and entered 28<sup>th</sup> July 1913  
at 1<sup>st</sup> o'clock in the afternoon  
*Notkelianus*  
REGISTRAR GENERAL

No. B 817608 DISCHARGE of within Mortgage  
A 38118 dated 1<sup>st</sup> May 1929  
Produced 7<sup>th</sup> May 1929 and entered 7<sup>th</sup> May 1929  
at 5<sup>th</sup> o'clock in the afternoon  
*W. H. Johnston*  
REGISTRAR GENERAL

No. C 896284 APPLICATION BY TRANSMISSION  
*Olga Frances Taylor of Marrickville Married Woman and Pearl Isabel Adders of Dulwich Hill Married Woman* are now the registered Proprietors of the Land within described in pursuance of the above Application  
Produced 24<sup>th</sup> April 1940 and entered 6<sup>th</sup> May 1940  
at 3<sup>rd</sup> o'clock in the afternoon  
*W. H. Johnston*  
REGISTRAR GENERAL

No. C 896285 CAVEAT Jaled 24<sup>th</sup> April 1940  
by the Registrar General.  
Produced 24<sup>th</sup> April 1940 and entered 6<sup>th</sup> May 1940  
at 3<sup>rd</sup> o'clock in the afternoon  
*W. H. Johnston*  
REGISTRAR GENERAL

No. C 909916 MORTGAGE dated 31<sup>st</sup> May 1940  
from the said *Olga Frances Taylor and Pearl Isabel Adders to The National Bank of Australasia Limited*  
Produced 6<sup>th</sup> June 1940 and entered 19<sup>th</sup> June 1940  
at 3<sup>rd</sup> o'clock in the afternoon  
*W. H. Johnston*  
REGISTRAR GENERAL

No. C 986644 DISCHARGE of within mortgage  
C 909916 dated 5<sup>th</sup> February 1941  
Produced 11<sup>th</sup> February 1941 and entered 25<sup>th</sup> February 1941  
at 11<sup>th</sup> o'clock in the forenoon  
*W. H. Johnston*  
REGISTRAR GENERAL

The within Caveat No. C 896285 is hereby withdrawn  
Dated 25<sup>th</sup> February 1941  
*W. H. Johnston*  
REGISTRAR GENERAL

No. C 986645 TRANSFER dated 5<sup>th</sup> February 1941  
from the said *Olga Frances Taylor and Pearl Isabel Adders of Marrickville Married Women* to *Isabel Adders of Marrickville Married Woman* of the land within described  
Produced 11<sup>th</sup> February 1941 and entered 25<sup>th</sup> February 1941  
at 11<sup>th</sup> o'clock in the forenoon  
*W. H. Johnston*  
REGISTRAR GENERAL

No. G 243825 APPLICATION BY TRANSMISSION  
*Sarah Jacqueline Willoughby of Annandale Married Woman* is now the registered Proprietor of the land within described in pursuance of the above Application  
Produced 16<sup>th</sup> February 1955 and entered 2<sup>nd</sup> March 1955  
at 12<sup>th</sup> o'clock in the afternoon  
*T. H. Pells*  
REGISTRAR GENERAL

No. G 243826 CAVEAT dated 16<sup>th</sup> February 55  
by the Registrar General.  
Produced 16<sup>th</sup> February 1955 and entered 2<sup>nd</sup> March 1955  
at 12<sup>th</sup> o'clock in the afternoon  
*T. H. Pells*  
REGISTRAR GENERAL

The within Caveat No. G 243826 is hereby withdrawn  
Dated 18<sup>th</sup> April 1961  
*W. H. Johnston*  
REGISTRAR GENERAL

*Joseph Vincent Pender of Enmore Master Painter, Gerald Kilgus of Padstow School Teacher and John Monroe Kelsey of Canterbury Machine Operator are* now the registered proprietors of the land within described.  
as Joint Tenants  
See TRANSFER No. H 724843 dated 9<sup>th</sup> February 1961  
Entered 18<sup>th</sup> April 1961  
*W. H. Johnston*  
REGISTRAR GENERAL

No. H 724844 MORTGAGE dated 8<sup>th</sup> February 1961  
to *New South Wales League Club*  
Entered 18<sup>th</sup> April 1961  
*W. H. Johnston*  
REGISTRAR GENERAL

MORTGAGE No. H 724844 has been discharged.  
See K 594110 Entered 28<sup>th</sup> February 1962  
*W. H. Johnston*  
REGISTRAR GENERAL

This need to be cancelled and registered at this time.  
Vol. 10239 fol. 53 filed 20-4-1967  
via K 597976  
*W. H. Johnston*  
REGISTRAR GENERAL





## Title Search

12/11/2021 01:04 PM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 1/121240

SEARCH DATE	TIME	EDITION NO	DATE
12/11/2021	1:05 PM	-	-

VOL 8100 FOL 248 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LOT 1 IN DEPOSITED PLAN 121240

AT MARRICKVILLE

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP121240

FIRST SCHEDULE

THE CYPRIAN COMMUNITY OF N.S.W. LIMITED

SECOND SCHEDULE (1 NOTIFICATION)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 12/11/2021

\* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title. Warning: the information appearing under notations has not been formally recorded in the Register.

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## Historical Search

12/11/2021 01:12 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

-----

12/11/2021 1:12PM

FOLIO: 1/121240

-----

First Title(s): OLD SYSTEM

Prior Title(s): VOL 8100 FOL 248

Recorded	Number	Type of Instrument	C.T. Issue
-----	-----	-----	-----
13/6/1989		CONVERTED TO COMPUTER FOLIO	FOLIO CREATED
		CT NOT ISSUED	

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 12/11/2021

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
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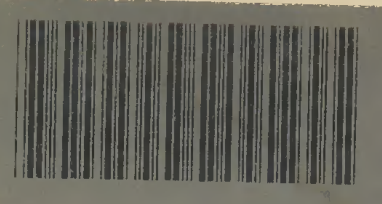


202

# New South Wales



ICE



08100248

Primary Appn. No. 3186  
Reference to Last Title<sup>s</sup>  
Vol. 5395 Fol.<sup>s</sup> 80 and 81  
Charting Map Marrickville Sheet A

JOINT TENANCY

REGISTER BOOK.  
Vol. 8100 Fol. 248

MH Issued on Transmission Application  
No. H633559

**CANCELLED** [W]  
ON ISSUE OF NEW FOLIO 1/121240

**RONALD JOSEPH TIDYMAN** of Concord, Railway Officer, **NOEL WILLIAM TIDYMAN** of Arncliffe, Motor Mechanic, **KEVIN JOHN TIDYMAN** of Oatley, Railway Officer and **KEITH BENEDICT TIDYMAN** of Enmore, Railway Guard, are now the proprietors of an Estate in Fee Simple as joint tenants, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances

liens, and interests as are notified hereon, in That piece of land

in the Municipality of Marrickville Parish of Petersham and County of Cumberland

shown in the plan hereon and therein edged red being part of Lot 1 of Section D of the Fotheringham Estate and being also part of 100 acres granted to **Edward Laing** on 3rd October 1794.

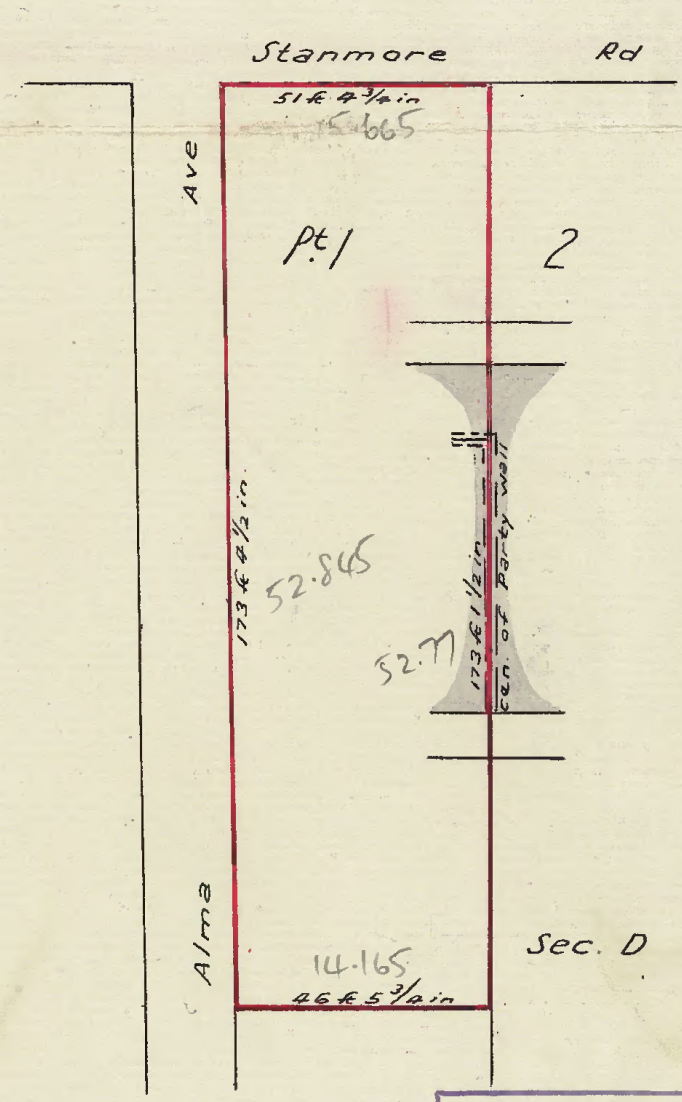
In witness whereof I have hereunto signed my name and affixed my Seal, this **18th** day of **February**, 1961

Signed in the presence of

*Wollmer*

*Watson*

Registrar-General.



THE LAND WITHIN DESCRIBED IS  
PT. LOT 1 SEC. D. D.P. 192239

No. **H633560** CAVEAT by the Registrar General  
Entered **18th April** 1961

MORTGAGE No. **F263771** has been discharged.  
Sec. **H724841** Entered **18th April** 1961

The within Caveat No. **H633560** is hereby withdrawn  
Dated **18th April** 1961

NOTIFICATION REFERRED TO

No. F263771 Mortgage dated 22nd June 1950 from Rubenia Maude Tidyman to The English Scottish and Australian Bank Limited Produced and entered 13th July 1950 at 10 minutes past 2 o'clock in the afternoon.

*Watson*  
Registrar General



H633559

*Handwritten notes and signatures*

248



*Joseph Vincent Buxton of Enmore Mason*  
*George William of Pocklington School Teacher*  
*John Honore Kessey of Canterbury Machine Works*  
now the registered proprietor of the land within described.  
*As Joint Tenants*  
See TRANSFER No. *H724842* dated *8th February 1961*  
Entered *18th April 1961*  
*Jawatson*  
REGISTRAR GENERAL

REGISTERED PROPRIETOR *The Cyprian Community of*  
*N.S.W. acquired by Transfer X766068*  
*Registered 17.8.1988*  
X *96*

FOLIO CANCELLED. NEW FOLIO IS *1* /21240  
NO FURTHER DEALINGS TO BE REGISTERED.

No. *H724844* MORTGAGE dated *8th February 1961*  
to *New South Wales Leagues Club*  
Entered *18th April 1961*  
*Jawatson*  
REGISTRAR GENERAL

MORTGAGE No. *H724844* has been discharged.  
See *K594110* Entered *28th February 1967*  
*Jawatson*  
REGISTRAR GENERAL

No. *K594111* MORTGAGE dated *17th February 1967*  
to *Commonwealth Trading Bank of Australia*  
Entered *11th May 1967*  
*Discharged*  
*X766067*  
*17.8.1988*  
*Jawatson*  
REGISTRAR GENERAL

*T684697* Caveat by *Kevin Emery Humphreys, Kenneth Gibson Stephen and*  
*Alexander Ian Mackie* Registered *13.9.1983*  
*Withdrawn*  
*X766063*  
*17.8.1988*  
*Blamie*  
REGISTRAR GENERAL

REGISTERED PROPRIETOR *Desmond Francis O'Connor,*  
*Francis James Farrington and John Singleton as*  
*joint tenants by Transfer Notice of Death V991171,*  
*Transfer V991177 Registered 14.11.1985*

*Cancel Caveator under T684697 Caveat V991177*  
*Caveator consents Registered 14.11.1985*  
*Cancelled*  
*X766063*  
*17.8.1988*

*K594111 M R*  
*T684687 106 X*  
*CT 13-8-85*

*V991171 NID*  
*-7 TEP*  
*X766063 wx*  
*-67 DM*  
*-68 T R*  
*8100*  
*248*



Primary Appn. No. 3186

Reference to Last Title<sup>e</sup>

Vol. 5395      Fol.<sup>s</sup>. 80 and 81

Charting Map Marrickville Sheet A



## JOINT TENANCY

REGISTER BOOK.

Vol. **8100** Fol. **248**

MH Issued on Transmission Application

No. H633559

CANCELLED

1 121240

RONALD JOSEPH TIDYMAN of Concord, Railway Officer, NOEL WILLIAM TIDYMAN of Arncliffe, Motor Mechanic, KEVIN JOHN TIDYMAN of Oatley, Railway Officer and KEITH BENEDICT TIDYMAN of Enmore, Railway Guard, are now the proprietors of an Estate in Fee Simple as joint tenants, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances

liens, and interests as are notified hercon, in      That      piece of land

in the Municipality of Marrickville Parish of Peterborough and County of Cumberland

shown in the plan hereon and therein edged red being part of Lot 1 of Section D of the Fotheringham Estate and being also part of 100 acres granted to Edward Laing on 3rd October 1794.

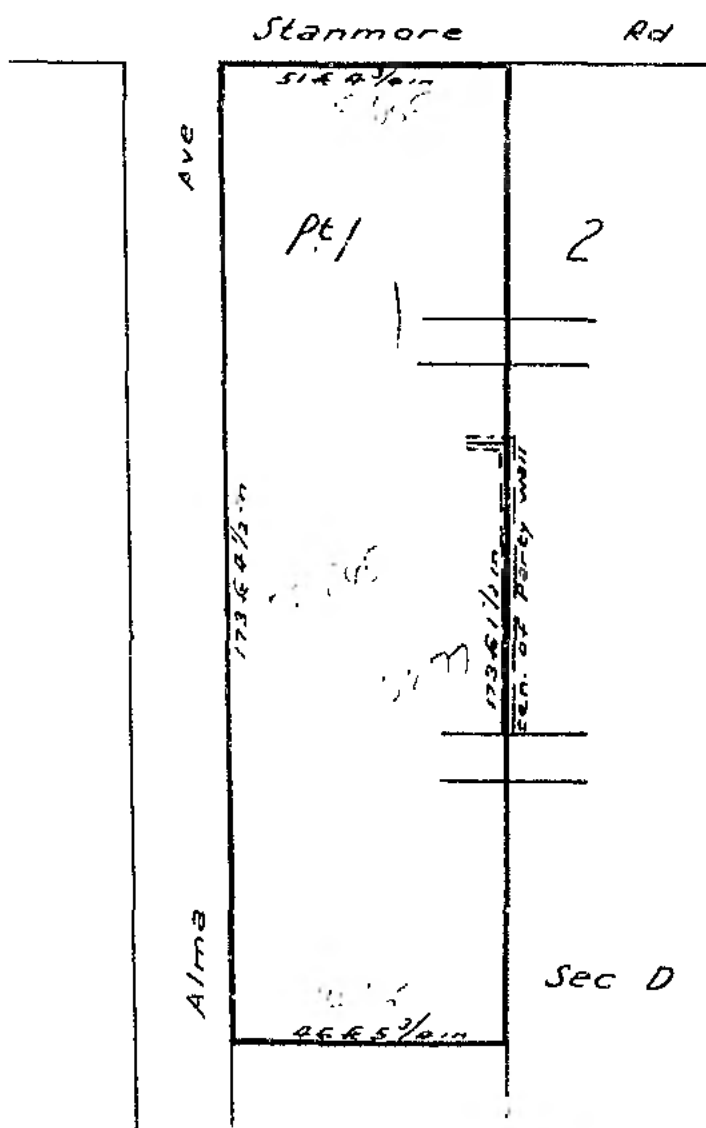
In witness whereof I have hereunto signed my name and affixed my Seal, this 15th day of February, 1961

Signed in the presence of

Wollmer

*Jonathan*

Registrar-General.



THE LAND WITH IN  
DESCRIBED IS  
PT. LOT 1 SEC. D. D.R. 192233

Area : 31 per

Scale: 40 feet to one inch

NOTIFICATION REFERRED TO

No. F263771 Mortgage dated 22nd June 1950 from Rubenia Maude Tidyman to The English Scottish and Australian Bank Limited Produced and entered 13th July 1950 at 10 minutes past 2 o'clock in the afternoon.

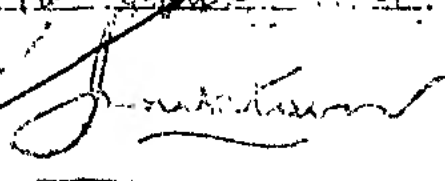
Regietrar General



No. H 638560 CAVEAT by the Registrar General  
Entered 18<sup>th</sup> April 1961.

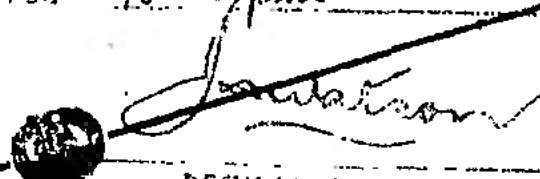
MORTGAGE No. F263771 has been discharged.  
See 11124841 Entered 18th April 1961


The within report No. 14633560 is hereby withdrawn  
 Dated 18th April 1961

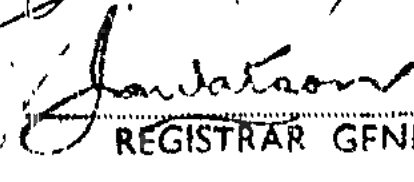
Joseph Vincent Bugden of Glenview Martin  
Bentley George Robinson of Parkmore School Teacher  
and John Horace Keary of Canterbury Machine Works  
are the registered proprietor of the land with a certificate.  
As Joint Tenants  
See TRANSFER No. H724844 dated 8<sup>th</sup> February 1961  
Entered 18<sup>th</sup> April 1961  
  
REGISTRAR GENERAL


REGISTERED PROPRIETOR *The Cyprian Community of*  
*N.S.W. Limited by Transfer X766068*  
*Registered 17.8.1988.*  
40

NEW FOLD IS 1/121240  
WHICH DEVLINGS TO BE REGISTERED.

No. H724844 MORTGAGE dated 8<sup>th</sup> February 1961  
to New South Wales Leagues Club  
Entered 18<sup>th</sup> April 1961  
  
REGISTRAR GENERAL

MORTGAGE No. 11724844 has been discharged.  
See K594110 Entered 28<sup>th</sup> February 1967  
  
REGISTRAR GENERAL

No. K594111 MORTGAGE dated 17<sup>th</sup> February 1967  
to Commonwealth Trading Bank of Australia  
Entered 11<sup>th</sup> May 1967  
Discharged  
X766067  
17.8.1988  
  
REGISTRAR GENERAL

T684697 Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen and  
Alexander Ian Markie Registered 13.9.1983  
Withdrawn  
X766063  
17.8.1988  
  
REGISTRAR GENERAL

REGISTERED PROPRIETOR *Diamond Francis O'Connor,*  
*Francis James Farrington and John Singleton as*  
*joint tenants by Transfer Notice of Death V991171,*  
*Transfer V991177 Registered 14.11.1985*

~~Caveat~~ ~~Caveator under T684697 Caveat V991177~~  
~~Caveator consents Registered 14.11.1985~~  
~~Cancelled~~  
~~X766063~~  
~~17.8.1988~~

1604697P6X  
CT 13-8-85  
V991171NID  
-77E  
X766063WX  
-67DM  
-60TR



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201

Appn. No. 3186

Reference to last certificate

Vol. 4247 Fol. 177

# New South Wales.



[CERTIFICATE OF TITLE]

TENANCY IN COMMON

TRANSMISSION NO.D225824

REGISTER BOOK.

Vol. 5395 Fol. 80

CANCELLED ☒

EMMIE MARIE WILHELMINA CRISP, wife of James Alexander Crisp, of Vaucluse, Artist, Applicant in Trans-  
mission Application No.D225824, is now the proprietor of an Estate in Fee Simple in an undivided moiety  
or half share,  
subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such  
encumbrances, liens, and interests as are notified hereon, in That piece of land situated  
in the Municipality of Marrickville Parish of Petersham, and County of Cumberland  
containing Thirty one perches or thereabouts as shown in the plan hereon and therein edged red being  
part of Lot 1 of Section D of the Fotheringham Estate and being also part of 100 acres originally gran-  
ted to Edward Laing by Crown Grant dated the 3rd day of October, 1794.

In witness whereof I have hereunto signed my name and affixed my Seal, this Twenty ninth day of September 1950

Signed in the presence of

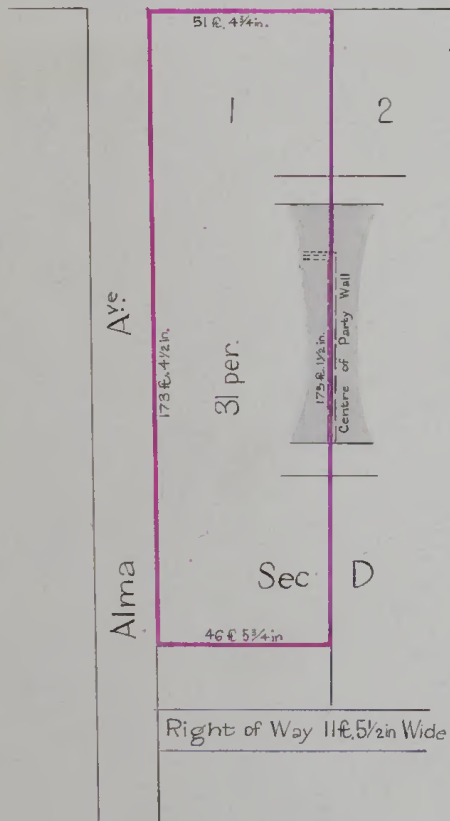
W.P. Friends

Reg. W. Wells



Registrar General.

Stanmore Rd



Right of Way 11 ft 5 1/2 in Wide

Scale: 40 ft. to one inch.

D225824 (1)

NOTIFICATION REFERRED TO  
No. F263770 TRANSFER dated 12th July 1950  
from the said Emmie Marie Wilhelmina Crisp  
and also Constance Thelma Rosetha Evans  
to Rubenia Maude Tidyman of Stanmore  
Widow of the land within described  
Produced and entered 13th July 1950  
at 10 mto 2 o'clock in the after noon.  
J. Wells  
REGISTRAR GENERAL.

No. F263771 MORTGAGE dated 22nd June 1950  
from the said Rubenia Maude Tidyman to  
The English, Scottish and Australian  
Bank Limited  
Produced and entered 13th July 1950  
at 10 mto 2 o'clock in the after noon.  
J. Wells  
REGISTRAR GENERAL.

Ronald Joseph Tidyman, of Lancashire Railway Office, Noel William  
Tidyman of Bruckley Motor Mechanic, Kevin John Tidyman of City  
Railway Office and Keith Benedict Tidyman of Eumore Railway Road  
now the registered proprietor of the land within described as  
JOINT TENANTS  
See Section 94 Application No. H633559  
Entered 10th November 1950  
this deed is cancelled  
and new Certificate issued  
J. Wells  
REGISTRAR GENERAL.

1633559





17/11/2021 04:19 PM

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201

Appn. No. 3186

Reference to last certificate

Vol. 4247 Fol. 177

# New South Wales.



[CERTIFICATE OF TITLE]

TENANCY IN COMMON

TRANSMISSION NO.D225824

REGISTER BOOK.

Vol. 5395 Fol. 81

CANCELLED ☒

CONSTANCE THIRZA DOROTHEA EVANS, wife of Jack Charles Evans, of Epping, Engineer, Applicant in Transmission Application No.D225824, is now the proprietor of an Estate in Fee Simple in an undivided moiety or half share,

subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land situated in the Municipality of Marrickville Parish of Petersham, and County of Cumberland containing Thirty one perches or thereabouts as shown in the plan hereon and therein edged red being part of Lot 1 of Section D of the Fotheringham Estate and being also part of 100 acres originally granted to Edward Laing by Crown Grant dated the 3rd day of October, 1794.

In witness whereof I have hereunto signed my name and affixed my Seal, this Thirtieth day of September 1943

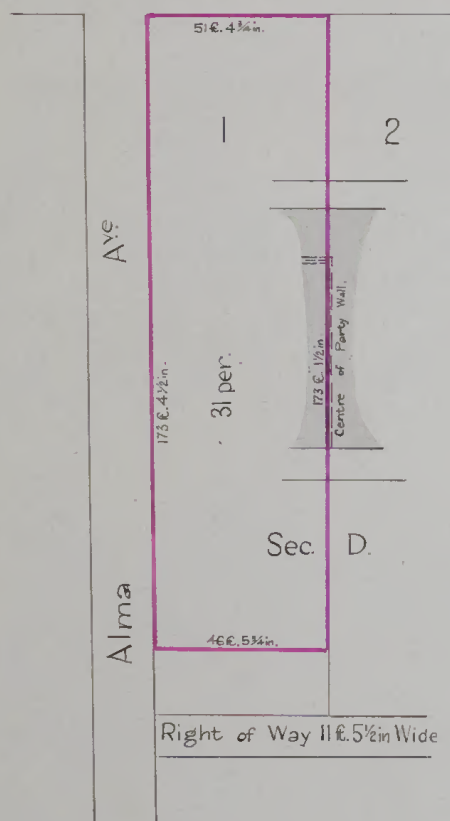
Signed in the presence of

W.P. Friend

Reg. W. Wells  
Registrar General.



Stanmore R<sup>d</sup>



Scale : 40 ft. to one inch.

NOTIFICATION REFERRED TO

No. F 263770 TRANSFER dated 12<sup>th</sup> July 1950  
from the said Constance Thirza Dorothea Evans  
and also Emmie Marie Witherington  
to Ruthenia Maude Tidjman of  
Stanmore, Widow of the land within described  
Produced and entered 13<sup>th</sup> July 1950  
at 10 mto 12 o'clock in the afternoon.  
J. Wells  
REGISTRAR GENERAL.



No. F 263771 MORTGAGE dated 22nd June 1950  
from the said Ruthenia Maude Tidjman  
to the Eastern, Southern and Western  
Bank Limited  
Produced and entered 13<sup>th</sup> July 1950  
at 10 mto 12 o'clock in the afternoon.  
J. Wells  
REGISTRAR GENERAL.



Ronald Joseph Tidjman of Concord Railway Officer, Noel William  
Tidjman of Bruckliffe Motor Mechanic, Reuben John Tidjman of Bally  
Railway Officer and Keith Benedict Tidjman of Concord Railway Officer  
now the registered proprietors of the land within described.  
See Section 94 Application No. H633559  
Entered 10<sup>th</sup> November 1950  
No land in this transmission  
the deed is cancelled  
and new Certificate issued  
Vol. Fol. REGISTRAR GENERAL



D225824 (2)

Log  
Drops

8/12/43  
W.P. Friend

82/12/43

Box H633560 n/c



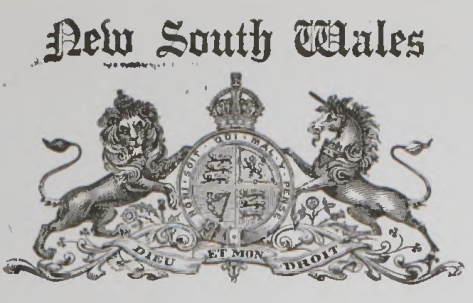
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17/11/2021 04:42 PM

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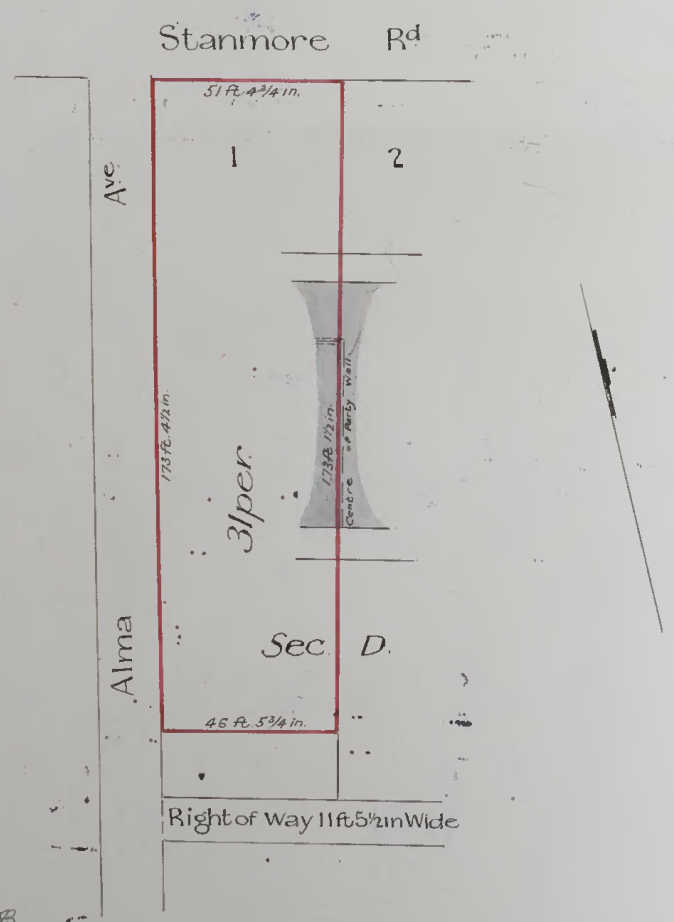
Appn. No. 3186  
Reference to last certificate,  
Vol. 1374 Fol. 31



71719 10.28  
[CERTIFICATE OF TITLE]  
ORDER No. B 776677  
REGISTER BOOK.  
Vol. 4247 Fol. 177

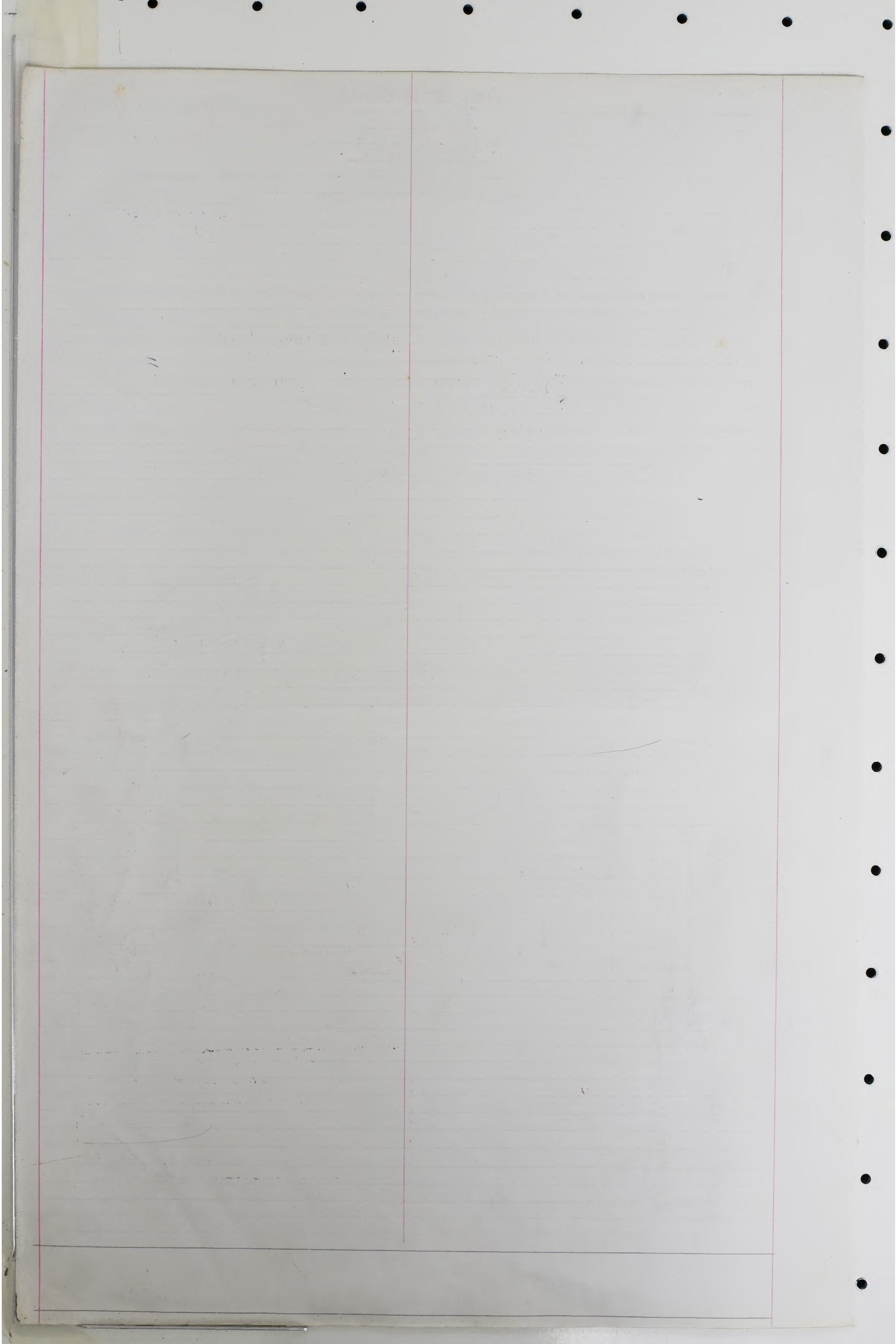
EMILY JANE WALTHER, wife of Frederick William Walther of Newtown, Accountant, by virtue of Certificate of Title Volume 1374 Folio 31 now surrendered is now the proprietor of an Estate in Fee Simple, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in that piece of land situated in the Municipality of Marrickville Parish of Petersham, and County of Cumberland containing Thirty one perches or thereabouts, as shown in the Plan hereon and therein edged red, being part of lot 1 of Section D of the Potheringham Estate and being also part of 100 acres, delineated in the Public Map of the said Parish in the Department of Lands, originally granted to Edward Laing by Crown Grant dated the 3rd day of October 1794.

In witness whereof I have hereunto signed my name and affixed my Seal, this twelfth day of February 1939.  
Signed in the presence of J. H. Donnell }  
W. Layton  
Registrar General.



1643.  
8776677.  
Scale 40 feet to one inch.  
Notification returned to -  
Application for Transmission No. 225824 The within deed is cancelled and a Certificate of Title issued. Vol. 4247 Fol. 181 in favor of Annie Marie Wilhelm and Constance Thirga and their executors and assigns in pursuance of the above application.  
R. W. Miles  
REGISTRAR GENERAL







## Title Search

17/11/2021 03:43 PM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: A/308880

SEARCH DATE	TIME	EDITION NO	DATE
17/11/2021	3:43 PM	-	-

VOL 7783 FOL 169 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LOT A IN DEPOSITED PLAN 308880  
LOCAL GOVERNMENT AREA INNER WEST  
PARISH OF PETERSHAM COUNTY OF CUMBERLAND  
TITLE DIAGRAM DP308880

FIRST SCHEDULE

THE CYPRIAN COMMUNITY OF NSW LIMITED (T X766068)

SECOND SCHEDULE (1 NOTIFICATION)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

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\* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title. Warning: the information appearing under notations has not been formally recorded in the Register.

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## Historical Search

17/11/2021 03:44 PM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

17/11/2021 3:44PM

FOLIO: A/308880

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 7783 FOL 169

Recorded	Number	Type of Instrument	C.T. Issue
2/9/1989	TITLE AUTOMATION PROJECT	LOT RECORDED	
	FOLIO NOT CREATED		
6/2/1990	CONVERTED TO COMPUTER FOLIO	FOLIO CREATED	
	CT NOT ISSUED		

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 17/11/2021

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**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

17/11/2021 03:59 PM

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202

Primary Appn. No. 3186

Reference to Last Title

Vol. 3577 Fol. 102

Charting Map - Marrickville Sheet A

New South Wales

[CERTIFICATE OF TITLE.]



REGISTER BOOK.

VOL. 7783 FOL. 169

ID Issued on Order No.H204509

CANCELLED ☒ W  
ON ISSUE OF NEW FOLIO A/308880

**RONALD JAMES EDWARD FIELD**, of Marrickville, Canine Specialist, is now the proprietor of an Estate in Fee Simple, subject nevertheless to the reservations and conditions, if any, contained in the Grant hereinafter referred to, and also subject to such encumbrances, liens, and interests as are notified hereon, in That piece of land in the Municipality of Marrickville Parish of Petersham, and County of Cumberland shown in the plan hereon and therein edged red being Lot A in plan lodged with Order No.B54948 and being part of 100 acres granted to **Edward Laing on 3rd October 1794.**

In witness whereof I have hereunto signed my name and affixed my Seal, this

Twentieth

day of

October, 1959.

Signed in the presence of

*Johnston*

*Janatson*  
Registrar-General.



Area: 1rd. 2 1/2 per.

Scale: 50 feet to one inch.

NOTIFICATION REFERRED TO

No.F218248 Mortgage dated 29th March 1950 from Ronald James Edward Field to Bank of New South Wales Produced 12th May 1950 and entered 1st June 1950 at 12 o'clock noon.

*Janatson*  
Registrar General



MORTGAGE No. F218248 has been discharged.  
See H204508 Entered 30th October 1959.  
*Janatson*  
REGISTRAR GENERAL.

*Joseph Vincent Bugler of Enmore, Master Printer, George Richmond of Padstow, School Teacher and John Horace Kelly of Canterbury, now the registered proprietors of the land fully described as joint tenants*  
See TRANSFER No. H204510 dated 1st May 1959.  
Entered 30th October 1959.  
*Janatson*  
REGISTRAR GENERAL.

No. H204511 MORTGAGE dated 1st May 1959 from the said *Joseph Vincent Bugler, George Richmond and John Horace Kelly to Commonwealth Trading Bank of Australia*  
Entered 30th October 1959.  
*Janatson*  
REGISTRAR GENERAL.

50745 12.59 K 2006-1 V. C. N. Blight, Government Printer

Persons are cautioned against altering or adding to this Certificate or any notification thereon.

204509

s.l.s.-h.

H204508  
10 T R R  
11 T R R  
H205444  
H207372

169



No. H205744 MORTGAGE dated 14 May 1959  
from the said Joseph Vincent Angler, George  
Dehn and John Moray Kesey to  
New South Wales Leagues Club  
Entered 30th October 1959  
*Jawatson*  
REGISTRAR GENERAL

No. H207372 MORTGAGE dated 14 May 1959  
from the said Joseph Vincent Angler, George  
Dehn and John Moray Kesey to  
Ronald James Edward Field of  
Marichville canine specialist  
Entered 30th October 1959  
*Jawatson*  
REGISTRAR GENERAL

MORTGAGE No. H207372 has been discharged.  
See H272159 Entered 1st September 1960  
*Jawatson*  
REGISTRAR GENERAL

MORTGAGE No. H205744 has been discharged.  
See H933912 Entered 5th December 1961  
*Jawatson*  
REGISTRAR GENERAL

MORTGAGE No. H204511 has been discharged.  
See J9032 Entered 29th March 1962  
*Jawatson*  
REGISTRAR GENERAL

No. J9033 MORTGAGE dated 1st March 1962  
to Commonwealth Trading Bank of  
Australia  
Entered 29th March 1962  
*Jawatson*  
REGISTRAR GENERAL

No. J146429 Lease dated 25th May 1962  
to Newtown Leagues Club Limited  
(without evidence of consent of mortgage)  
Entered 23rd October 1962  
*Jawatson*  
REGISTRAR GENERAL

LEASE No. J146429 has expired by effluxion of time.  
See J146429 Entered 8th May 1968  
*Jawatson*  
REGISTRAR GENERAL

No. L30113 Lease dated 13th November 1966  
to Newtown Leagues Club Limited (with consent  
of mortgage)  
Entered 8th May 1968  
*Jawatson*  
REGISTRAR GENERAL

T684697 Caveat by Kevin Emery Humphreys, Kenneth Gibson Stephen  
and Alexander Ian Mackie Registered 13-9-1983  
Withdrawn  
X766063  
17-8-1988  
*Stamies*  
REGISTRAR GENERAL

REGISTERED PROPRIETOR Samuel Francis O'Connor,  
Francis James Farrington and John Singleton as  
joint tenants by Notice of Death V991171, Transfer  
V991177 Registered 14-11-1985

T684697 Caveat. V991177 Caveator consented 14-11-1985  
*Cancelled*  
X766063  
17-8-1988

REGISTERED PROPRIETOR The Cyprian Community  
of NSW Limited by Transfer  
X766068 Registered 17-8-1988

COMPUTERISED NO FURTHER  
DEALINGS TO BE REGISTERED.

M  
H205744

169

L  
L30113

B  
T684697

RP  
V991171

\*

L  
J146429

exp  
(J146429)

2283  
169

L30113  
169

169  
T684697  
CT 13-8-85

V991171  
NB  
-177 TK  
X766063  
-65 DM  
-68 R



**LAND  
REGISTRY  
SERVICES**

**Direct** Info  
Quick and easy online

17/11/2021 04:26 PM

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No. C920975 Discharge of the within mortgage No. C421927 dated 29<sup>th</sup> June 1940 as to the sum of £4,500 being that part of the principal sum advanced by the within named Frank Peterson de la Motte and Isabella de la Motte.

Produced and entered 7<sup>th</sup> August 1940 at 56 mls pt 2 at 11 o'clock in the afternoon.

*J. Wells*

Registrar General



No. D383572 APPLICATION BY TRANSMISSION  
Dagmar Cecilia Frances Egan of Sydney Widow and Norton Brewster of Sydney Solicitor (as joint tenants) are now the registered Proprietors of the land within described in pursuance of the above Application Produced 14<sup>th</sup> June 1945 and entered 9<sup>th</sup> July 1945 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. D386775 CAVEAT dated 25<sup>th</sup> June 1945 by the Registrar General. Produced 25<sup>th</sup> June 1945 and entered 9<sup>th</sup> July 1945 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. D398343 DISCHARGE of within mortgage C920975 dated 10<sup>th</sup> July 1945 Produced 30<sup>th</sup> July 1945 and entered 7<sup>th</sup> September 1945 at 12 o'clock in the noon.

*J. Wells*

Registrar General



The within Caveat No. D386775 is hereby withdrawn Dated 7<sup>th</sup> September 1945.

*J. Wells*

Registrar General



No. D398354 TRANSFER dated 25<sup>th</sup> May 1945 from the said Dagmar Cecilia Frances Egan and Norton Brewster to Louisa Annie Baker wife of Sidney James Baker of Marrickville, Solicitor of the land within described Produced 30<sup>th</sup> July 1945 and entered 7<sup>th</sup> September 1945 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. D398355 MORTGAGE dated 16<sup>th</sup> July 1945 from the said Louisa Annie Baker to The Union Bank of Australia Limited

Produced 30<sup>th</sup> July 1945 and entered 7<sup>th</sup> August 1945 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. D743339 DISCHARGE of within mortgage No. D398355 dated 8<sup>th</sup> September 1947 Produced and entered 22<sup>nd</sup> October 1947 at 11 o'clock in the fore noon.

*J. Wells*

Registrar General



No. D743341 MORTGAGE dated 29<sup>th</sup> September 1947 from the said Louisa Annie Baker

to BANK OF NEW SOUTH WALES

Produced and entered 22<sup>nd</sup> October 1947 at 11 o'clock in the fore noon.

*J. Wells*

Registrar General



No. F166905 APPLICATION BY TRANSMISSION Edward Albert Badley of Marrickville Farmer and Neville Charles Lawrence of Sydney Solicitor are now as joint tenants the registered Proprietors of the land within described in pursuance of the above Application Produced 20<sup>th</sup> February 1950 and entered 3<sup>rd</sup> March 1950 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. F166906 CAVEAT dated 20<sup>th</sup> February 1950 by the Registrar General. Produced 20<sup>th</sup> February 1950 and entered 3<sup>rd</sup> March 1950 at 12 o'clock in the noon.

*J. Wells*

Registrar General



The within Caveat No. F166906 is hereby withdrawn

Dated 18<sup>th</sup> June 1950

*J. Wells*

Registrar General



No. F218246 DISCHARGE of within mortgage D743341 dated 23<sup>rd</sup> March 1950 Produced 12<sup>th</sup> May 1950 and entered 15<sup>th</sup> June 1950 at 12 o'clock in the noon.

*J. Wells*

Registrar General



No. F218247 TRANSFER dated 24<sup>th</sup> March 1950 from the said Edward Albert Badley and Neville Charles Lawrence to Ronald James Edward Field of Marrickville, Solicitor of the land within described

Produced 12<sup>th</sup> May 1950 and entered 15<sup>th</sup> June 1950 at 12 o'clock in the fore noon.

*J. Wells*

Registrar General



No. F218248 MORTGAGE dated 24<sup>th</sup> March 1950 from the said Ronald James Edward Field

to BANK OF NEW SOUTH WALES

Produced and entered 15<sup>th</sup> June 1950 at 12 o'clock in the noon.

*J. Wells*

Registrar General



As to  
This Deed is cancelled and new Certificate of Title issued  
Vol. 7783 Fol. 169.  
Vide O.H. 204509  
*J. Wells*  
Registrar General.

F166905  
F218246  
F218247  
F218248

H205744 m n/c  
H207372 m n/c

H205744  
- 501 21m  
- 500 10  
- 501 m





## Title Search

18/11/2021 10:46 AM

Client Reference: DI-E2728

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: B/308880

SEARCH DATE	TIME	EDITION NO	DATE
18/11/2021	10:46 AM	-	-

VOL 3577 FOL 158 IS THE CURRENT CERTIFICATE OF TITLE

LAND

LOT B IN DEPOSITED PLAN 308880

LOCAL GOVERNMENT AREA INNER WEST

PARISH OF PETERSHAM COUNTY OF CUMBERLAND

TITLE DIAGRAM DP308880

FIRST SCHEDULE

THE CYPRIAN COMMUNITY OF NSW LIMITED (T X766068)

SECOND SCHEDULE (1 NOTIFICATION)

1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

NOTATIONS

UNREGISTERED DEALINGS: NIL

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 18/11/2021

\* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title. Warning: the information appearing under notations has not been formally recorded in the Register.

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## Historical Search

18/11/2021 10:50 AM

Client Reference: DI-E2728

### NEW SOUTH WALES LAND REGISTRY SERVICES - HISTORICAL SEARCH

SEARCH DATE

18/11/2021 10:50AM

FOLIO: B/308880

First Title(s): SEE PRIOR TITLE(S)

Prior Title(s): VOL 3577 FOL 158

Recorded	Number	Type of Instrument	C.T. Issue
2/9/1989	TITLE AUTOMATION PROJECT	LOT RECORDED	
	FOLIO NOT CREATED		
25/6/1990	CONVERTED TO COMPUTER FOLIO	FOLIO CREATED	
	CT NOT ISSUED		

\*\*\* END OF SEARCH \*\*\*



DI-E2728

PRINTED ON 18/11/2021

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18/11/2021 10:55 AM

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Te  
C871

*Lester Phares of Harrickville, Tasmania is*  
now the registered proprietor of the land within described.  
See TRANSFER No. *6418746* dated *24 November 1956*  
Entered *26 November 1956*  
*J. Wells*  
REGISTRAR GENERAL

M

No. *6418717* MORTGAGE dated *24 November 1956*  
from the said *Lester Phares to Bruce Investments Pty Limited*  
Entered *26 November 1956*  
*J. Wells*  
REGISTRAR GENERAL

DM  
H06898

MORTGAGE No. *6418717* has been discharged.  
See *9706898* Entered *10 May 1957*  
*J. Wells*  
REGISTRAR GENERAL

Te  
C-9

*Director of War Service Homes*  
now the registered proprietor of the land within described.  
See TRANSFER No. *9706899* dated *25 February 1957*  
Entered *10 May 1957*  
*J. Wells*  
REGISTRAR GENERAL

Te  
K6906

*Douglas Stuart Bain of Sydney Company Director is*  
now the registered proprietor of land within described.  
See TRANSFER No. *1649567* dated *2 June 1967*  
Entered *13 June 1967*  
*J. Wells*  
REGISTRAR GENERAL

Te  
L29158

*Joseph Vincent Bayly, Master Painter, George  
William School Teacher and John George  
Kearsey retired, all of Sydney are*  
now the registered proprietor of the land within described.  
See TRANSFER No. *429262* dated *24 June 1968*  
Entered *24 May 1968*  
*J. Wells*  
REGISTRAR GENERAL

M  
-7

158

No. *429263* MORTGAGE dated *24 April 1968*  
to *Commonwealth Trading Bank of Australia*  
Entered *24 May 1968*  
*Discharged*  
*X 766066*  
*17-8-1988*  
*J. Wells*  
REGISTRAR GENERAL

B 684697  
1 Withdrawn  
X 766063  
17-8-1988

*1684697* Taveat by Kevin Emery Humphreys, Kenneth Gibson  
Stephen and Alexander Ian Mackie Registered 13-9-1983  
*J. Wells*  
REGISTRAR GENERAL

PP  
13/6

REGISTERED PROPRIETOR *Desmond Francis O'Connor*  
*Francis James Farrington and John Singleton*  
as joint tenants by Notice of Death V991173  
Transfer V991176 Registered 14-11-1985

*Cancel 1684697* Cancellation considered  
*1684697* Cancel V991176 Cancellation considered.  
Registered 14-11-1985  
*Cancelled*  
*X 766063*  
*17-8-1988*

Coln  
14-11-1985

REGISTERED PROPRIETOR *The Cyprian Communities*  
*of N.S.W. Limited by Transfer X 766069*  
Registered 17-8-1988

COMPUTER FOLIO NO FURTHER  
DEALINGS TO BE REGISTERED.

76046976X 3577-158

CT 93-8-85

158  
V991173 NID/R  
-6 TE/R  
X 766063 WY  
-66 OM/R  
-88 TR

## **APPENDIX D: NSW EPA RECORDS**



## Public registers

+ POEO Public Register

- Contaminated land record of notices

About the record of notices

List of notified sites

Tips for searching

Disclaimer

Dangerous goods licences

Pesticide licences

Radiation licences

[Home](#) [Public registers](#) [Contaminated land record of notices](#)

## Search results

Your search for: Suburb: ENMORE

did not find any records in our database.

If a site does not appear on the record it may still be affected by contamination. For example:

- Contamination may be present but the site has not been regulated by the EPA under the Contaminated Land Management Act 1997 or the Environmentally Hazardous Chemicals Act 1985.
- The EPA may be regulating contamination at the site through a licence or notice under the Protection of the Environment Operations Act 1997 (POEO Act).
- Contamination at the site may be being managed under the [planning process](#).

More information about particular sites may be available from:

- The [POEO public register](#)
- The appropriate planning authority: for example, on a planning certificate issued by the local council under [section 149 of the Environmental Planning and Assessment Act](#).

See [What's in the record and What's not in the record](#).

If you want to know whether a specific site has been the subject of notices issued by the EPA under the CLM Act, we suggest that you search by Local Government Area only and carefully review the sites that are listed.

This public record provides information about sites regulated by the EPA under the Contaminated Land Management Act 1997, including sites currently and previously regulated under the Environmentally Hazardous Chemicals Act 1985. Your inquiry using the above search criteria has not matched any record of current or former regulation. You should consider searching again using different criteria. The fact that a site does not appear on the record does not necessarily mean that it is not affected by contamination. The site may have been notified to the EPA but not yet assessed, or contamination may be present but the site is not yet being regulated by the EPA. Further information about particular sites may be available from the appropriate planning authority, for example, on a planning certificate issued by the local council under section 149 of the Environmental Planning and Assessment Act. In addition the EPA may be regulating contamination at the site through a licence under the Protection of the Environment Operations Act 1997. You may wish to search the POEO public register [POEO public register](#)

[Search Again](#)

[Refine Search](#)

### Search TIP

To search for a specific site, search by LGA (local government area) and carefully review all sites listed.

[... more search tips](#)

## Search results

Your search for: Suburb: STANMORE

did not find any records in our database.

If a site does not appear on the record it may still be affected by contamination. For example:

- Contamination may be present but the site has not been regulated by the EPA under the Contaminated Land Management Act 1997 or the Environmentally Hazardous Chemicals Act 1985.
- The EPA may be regulating contamination at the site through a licence or notice under the Protection of the Environment Operations Act 1997 (POEO Act).
- Contamination at the site may be being managed under the [planning process](#).

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[Search Again](#) [Refine Search](#)

### Search TIP

To search for a specific site, search by LGA (local government area) and carefully review all sites listed.

... [more search tips](#)



Suburb	SiteName	Address	ContaminationActivityType	ManagementClass	Latitude	Longitude
ST PETERS	Camdenville Park	May STREET	Other Industry	Regulation under CLM Act not required	-33.90911815	151.176951
ST PETERS	Former Tidyburn Facility	53 Barwon Park ROAD	Chemical Industry	Contamination formerly regulated under the CLM Act	-33.9130091	151.1809912
ST PETERS	BP Express Service Station	2 Princes HIGHWAY	Service Station	Regulation under CLM Act not required	-33.90982281	151.1809936
ST PETERS	Former Industrial Manufacturing Facility (Taubman's Paints)	75 Mary STREET	Other Industry	Regulation under CLM Act not required	-33.91307297	151.1731383
ST PETERS	Burrows Industrial Estate	1-3 Burrows ROAD	Landfill	Regulation under CLM Act not required	-33.91725	151.180616
STANMORE	125 Corunna Road	125 Corunna ROAD	Unclassified	Regulation under CLM Act not required	-33.88937382	151.1644589
STOCKTON	Former Coroba Landfill	310 Fullerton STREET	Landfill	Regulation under CLM Act not required	-32.89578751	151.7898857
STRATHFIELD	7-Eleven (former Mobil) Service Station	577 Liverpool ROAD	Service Station	Regulation under CLM Act not required	-33.88736091	151.0743474
STRATHFIELD SOUTH	Former Landfill Site	7-9 Dunlop STREET	Landfill	Regulation under CLM Act not required	-33.89509698	151.0796751
STROUD	Stroud Fuel Supplies (Former Caltex) Service Station	1 Cowper STREET	Service Station	Regulation under CLM Act not required	-32.39092749	151.9563089
SUFFOLK PARK	BP Service Station	207-209 Broken Head ROAD	Service Station	Regulation under CLM Act not required	-28.68800088	153.6083821
SUFFOLK PARK	Suffolk Park dip site	Cnr Broken Head Road & Beech DRIVE	Cattle Dip	Regulation under CLM Act not required	-28.6874242	153.6072824
SUMMER HILL	Maurice Dry Cleaners	150 Smith STREET	Other Industry	Under assessment	-33.891935	151.137331
SURRY HILLS	Woolworths Petrol Surry Hills	475 Cleveland STREET	Service Station	Regulation under CLM Act not required	-33.89223271	151.2161434
SURRY HILLS	Former Legion Cabs (Trading) Cooperative	81 & 81A (Formerly 69 - 81) Foveaux STREET	Service Station	Regulation under CLM Act not required	-33.88470082	151.2107944

# The NSW Government PFAS Investigation Program

View a map of the sites in NSW that may be contaminated with PFAS, learn how to reduce your exposure to these dangerous chemicals, and read about our investigation of the issue.

The EPA is leading an investigation program to assess the legacy of PFAS use across NSW. With the assistance of the NSW PFAS Technical Advisory Group, which includes NSW Health, Department of Primary Industries and the Office of Environment and Heritage, we provide impacted residents with tailored, precautionary dietary advice to help them reduce any exposure to PFAS.

Current investigations are focused on sites where it is likely that large quantities of PFAS have been used. The EPA is currently investigating PFAS at these sites:

Map view

List view

Clear filters

☐ Only show sites within current map view

Showing 0 of 49 sites

Organisation	Address	Status
<input type="text" value="**filter by organisation**"/>	<input type="text" value="STANMORE"/>	<input checked="" type="checkbox"/> PFAS investigation site

Tags:

PFAS

## Sampling and analysis

The EPA is collecting samples of soils and/or waters for analysis for PFAS. The EPA is also looking for exposure pathways that may increase people's contact with the chemicals, such as bore and surface water usage.

If significant levels are detected and human or ecological exposure is likely, a more detailed assessment will be undertaken.

The EPA will work with the occupiers and owners of these sites, or the responsible parties, to clean-up the site, where necessary.

## Timeframes for the investigation

The initial investigations can take approximately six months, with further testing undertaken where required.

Test findings are made available throughout the investigations.

More information is available on the NSW EPA [PFAS investigation process](#) page.

## Release of the National Environmental Management Plan for PFAS version 2

**The PFAS National Environmental Management Plan version 2** [PDF](#) has now been released by the Commonwealth Department of Agriculture Water and Environment. This is the current version of the PFAS NEMP. It was agreed by Heads of EPAs in October 2019. It has been endorsed by Environment Ministers and has been endorsed for implementation in NSW.

In those jurisdictions that have endorsed it, this version supersedes the first version of the NEMP published in 2018.

The PFAS NEMP establishes a practical basis for nationally consistent environmental guidance and standards for managing PFAS contamination. The plan has been developed by all jurisdictions and recognises the need for implementation of best practice regulation through individual jurisdictional mechanisms. It represents a how-to guide for the investigation and management of PFAS contamination and waste management.

The PFAS NEMP 2.0 provides new and revised guidance on four of the areas that were identified as urgent priorities in the first version of the NEMP

- Environmental guideline values
- Soil reuse
- Wastewater management
- On-site containment

This new guidance, as well as important clarifications regarding the intent of some of the PFAS NEMP 1.0 material, was developed by the National Chemicals Working Group across 2018 and considered by Heads of EPAs and Environment Ministers in late 2018.

## Consultation on version 2 of NEMP

The Heads of EPAs Australia and New Zealand (HEPA) and the Australian Government Department of Agriculture, Water and the Environment (DAWE) worked together to develop the PFAS NEMP 2.0. HEPA's National Chemicals Working Group led the development and consultation process.

The draft PFAS NEMP 2.0 was published on 28 February 2019 with comments due by Friday 21 June 2019. Environmental regulators in all states and territories hosted public consultation sessions in all capital cities across March and April 2019, with the Commonwealth presenting the work on behalf of the National Chemicals Working Group. Around 550 people attended the sessions.

All feedback received was considered by the National Chemicals Working Group and further changes were made in response to that feedback before the document was finalised in late 2019. An ancillary document summarising the feedback and the responses made is expected to be published soon by the Commonwealth Department of Agriculture Water and Environment.

## Working with our stakeholders

The NSW Government is committed to working closely with all relevant government agencies, to closely monitor the progress of investigations, and to keep local communities informed. Government agencies include local councils, NSW Department of Primary Industries, NSW Health, NSW Food Authority, and where necessary the Commonwealth Department of Defence, and Commonwealth Department of Health.

In NSW the polluter pays for and manages any clean-up required. Although the NSW Government cannot regulate Defence sites, it has outlined expectations that Defence will carry out investigations in a timely manner that is consistent with the EPA's requirements and processes.

## More information

- [PFAS investigation program fact sheet \(PDF 213KB\)](#)
- [PFAS investigation program FAQs page](#)
- [NSW Department of Health](#)
- For specific health inquiries call the NSW Department of Health on **1300 066 055**
- If you have any questions about the EPA's PFAS investigation program, please call the Environment Line on **131 555** or email [info@environment.nsw.gov.au](mailto:info@environment.nsw.gov.au)

### – POEO Public Register

[Licences, applications and notices search](#)

[Penalty notices search](#)

[Enforceable undertakings search](#)

[Enforceable undertakings media releases](#)

[Exemptions and approvals search](#)

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[Unlicensed premises regulated by the EPA](#)

### + Contaminated land record of notices

[Dangerous goods licences](#)

[Pesticide licences](#)

[Radiation licences](#)

## Search results

Your search for: **General Search** with the following criteria

**Suburb - STANMORE**

returned 0 result

[Search Again](#)

## Public registers

### - POEO Public Register

[Licences, applications and notices search](#)

[Penalty notices search](#)

[Enforceable undertakings search](#)

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[Home](#) [Public registers](#) [POEO Public Register](#) [Licences, applications and notices search](#)

## Search results

Your search for: **General Search with the following criteria**

**Suburb - ENMORE**  
returned 0 result

[Search Again](#)



## **APPENDIX E: BUREAU OF METEOROLOGY**

# Daily Rainfall (millimetres)

## MARRICKVILLE GOLF CLUB

Station Number: 066036 · State: NSW · Opened: 1904 · Status: Open · Latitude: 33.92°S · Longitude: 151.14°E · Elevation: 6 m

2021	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
1st	3.0	1.0	0	8.0	1.0	0	2.0	0	0	1.0	0	
2nd	1.0	21.0	0	0	0	0	2.0	0	0	12.0	0	
3rd	6.0	0	0	0	0	0	1.0	3.0	0	6.0	0	
4th	5.0	0	0	0	0	9.0	0	0	0	0	0	
5th	9.0	0	0	0	28.0	0	0	0	12.0	0	11.0	
6th	3.0	0	0	2.0	21.0	0	0	0	1.0	0	0	
7th	1.0	1.0	0	9.0	38.0	8.0	0	0	0	0	0	
8th	4.0	0	0	7.0	1.0	0	0	1.0	0	0	13.0	
9th	1.0	0	0	1.0	0	7.0	0	0	0	0	3.0	
10th	0	1.0	0	0	0	1.0	5.0	0	0	0	0	
11th	0	0	0	0	0	6.0	15.0	0	0	8.0	13.0	
12th	0	0	0	0	0	0	1.0	0	0	1.0	22.0	
13th	0	8.0	42.0	0	1.0	0	1.0	0	0	3.0		
14th	0	12.0	19.0	0	0	0	0	0	27.0	4.0		
15th	0	0	15.0	0	0	0	2.0	0	3.0	24.0		
16th	0	7.0	1.0	0	0	0	1.0	0	0	0		
17th	0	22.0	5.0	0	0	7.0	1.0	0	0	0		
18th	0	2.0	14.0	0	0	0	0	0	0	0		
19th	0	4.0	53.0	0	0	2.0	0	0	1.0	0		
20th	0	0	55.0	0	0	4.0	0	0	0	0		
21st	0	0	107.0	0	1.0	2.0	0	0	0	0		
22nd	0	0	24.0	0	2.0	2.0	0	0	0	0		
23rd	0	0	42.0	0	0	0	0	0	0	0		
24th	0	18.0	25.0	0	4.0	0	1.0	32.0	0	0		
25th	0	3.0	0	0	2.0	1.0	0	43.0	0	2.0		
26th	0	7.0	0	0	0	0	0	0	5.0	0		
27th	0	0	0	0	0	0	0	0	0	0		
28th	15.0	1.0	0	0	0	2.0	0	0	0	0		
29th	8.0		0	0	0	10.0	0	0	0	0		
30th	15.0		1.0	0	0	9.0	0	1.0	3.0	0		
31st	0		4.0		0		0	0		0		
Highest daily	15.0	22.0	107.0	9.0	38.0	10.0	15.0	43.0	27.0	24.0	22.0	
Monthly Total	71.0	108.0	407.0	27.0	99.0	70.0	32.0	80.0	52.0	61.0		

↓ This day is part of an accumulated total

Quality control: 12.3 Done & acceptable, 12.3 Not completed or unknown

Product code: IDCJAC0009 reference: 80077294



Australian Government  
Bureau of Meteorology

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Prepared using Climate Data Online, Bureau of Meteorology <http://www.bom.gov.au/climate/data>.  
Contact us using details on <http://www.bom.gov.au/climate/how/contacts.shtml>.  
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<http://www.bom.gov.au/other/copyright.shtml>

## Daily Rainfall (millimetres)

### MARRICKVILLE GOLF CLUB

Station Number: 066036 · State: NSW · Opened: 1904 · Status: Open · Latitude: 33.92°S · Longitude: 151.14°E · Elevation: 6 m

#### Statistics for this station calculated over all years of data

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Mean	80.0	104.9	111.1	102.4	93.3	110.6	79.6	65.8	55.4	63.3	68.2	73.6
Median	66.4	75.4	89.2	74.3	65.8	82.0	48.0	41.8	46.2	46.3	58.3	59.2
Highest daily	139.7	194.0	215.9	123.0	111.8	104.0	127.0	78.7	73.7	124.0	143.5	88.9
Date of highest daily	13th 1911	10th 2020	9th 1913	21st 2015	5th 1919	5th 2016	10th 1904	31st 1906	29th 1916	15th 2014	14th 1969	13th 1910

#### 1) Calculation of statistics

Summary statistics, other than the Highest and Lowest values, are only calculated if there are at least 20 years of data available.

#### 2) Gaps and missing data

Gaps may be caused by a damaged instrument, a temporary change to the site operation, or due to the absence or illness of an observer.

#### 3) Further information

<http://www.bom.gov.au/climate/cdo/about/about-rain-data.shtml>.

Product code: IDCJAC0009 reference: 80077294 Created on Fri 12 Nov 2021 12:29:17 PM AEDT



## **APPENDIX F: DPI (OFFICE OF WATER) DATABASE RECORDS**

# WaterNSW

## Work Summary

**GW111350****Licence:****Licence Status:****Authorised Purpose(s):****Intended Purpose(s):** MONITORING BORE**Work Type:** Well**Work Status:****Construct.Method:** Auger - Solid**Owner Type:** Private**Commenced Date:****Completion Date:** 23/10/2007**Final Depth:** 7.50 m**Drilled Depth:** 7.50 m**Contractor Name:** Macquarie Drilling**Driller:** Unknown Unknown**Assistant Driller:****Property:****GWMA:****GW Zone:****Standing Water Level (m):****Salinity Description:****Yield (L/s):**

## Site Details

**Site Chosen By:****County**  
**Form A:** CUMBERLAND  
**Licensed:****Parish**  
PETERSHAM**Cadastre**  
1//880463**Region:** 10 - Sydney South Coast**River Basin:** - Unknown  
**Area/District:****CMA Map:****Grid Zone:****Scale:****Elevation:** 0.00 m (A.H.D.)**Elevation Source:** Unknown**Northing:** 6247614.000**Easting:** 331456.000**Latitude:** 33°53'54.2"S**Longitude:** 151°10'37.9"E**GS Map:** -**MGA Zone:** 56**Coordinate Source:** Unknown

## Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure



Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	7.50	0			Auger - Solid Flight
1	1	Opening	Screen	0.00	3.00	50		0	PVC Class 18

## Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.10	0.10	CONCRETE	Conglomerate	
0.10	0.50	0.40	SAND FINE TO MEDIUM	Sand and clay bands	
0.50	3.00	2.50	CLAY BROWN MOTTLED	Clay Loam	
3.00	4.00	1.00	SHALE, WEATHERED, DRY, FIRM	Shale	
4.00	5.00	1.00	SHALE EXTREM. WEATHERED, GREY	Shale	
5.00	7.50	2.50	SHALE, WEATHERED, .GREY, RED COLOURED	Shale	

\*\*\* End of GW111350 \*\*\*

**Warning To Clients:** This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

# WaterNSW

## Work Summary

**GW111351****Licence:****Licence Status:****Authorised Purpose(s):****Intended Purpose(s):** MONITORING BORE**Work Type:** Well**Work Status:****Construct.Method:** Auger - Solid**Owner Type:** Private**Commenced Date:****Completion Date:** 23/10/2007**Final Depth:** 9.00 m**Drilled Depth:** 9.00 m**Contractor Name:** Macquarie Drilling**Driller:** Bryan Patrick Clancy**Assistant Driller:****Property:****GWMA:****GW Zone:****Standing Water Level (m):****Salinity Description:****Yield (L/s):**

## Site Details

**Site Chosen By:****County**  
**Form A:** CUMBERLAND  
**Licensed:****Parish**  
PETERSHAM**Cadastre**  
1//880463**Region:** 10 - Sydney South Coast**River Basin:** - Unknown  
**Area/District:****CMA Map:****Grid Zone:****Scale:****Elevation:** 0.00 m (A.H.D.)**Elevation Source:** Unknown**Northing:** 6247601.000**Easting:** 331436.000**Latitude:** 33°53'54.6"S**Longitude:** 151°10'37.1"E**GS Map:** -**MGA Zone:** 56**Coordinate Source:** Unknown

## Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure

Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	9.00	0			Auger - Solid Flight
1	1	Opening	Screen	0.00	4.00	50		0	PVC Class 18
1	1	Casing	Pvc Class 18	0.00	5.00	50			

## Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.10	0.10	CONCRETE	Conglomerate	
0.10	3.50	3.40	CLAY MOTTLED WITH GREY,BRICK RED COLOURED	Clay Loam	
3.50	7.50	4.00	SHALE GREY,LIGHT BROWN,SEMI WEATHERED	Shale	
7.50	9.00	1.50	SHALE,HIGHLY WEATHERED,CLAYEY,DARK BROWN	Shale	

\*\*\* End of GW111351 \*\*\*

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

# WaterNSW

## Work Summary

**GW111352****Licence:****Licence Status:****Authorised Purpose(s):****Intended Purpose(s):** MONITORING BORE**Work Type:** Well**Work Status:****Construct.Method:** Auger - Solid**Owner Type:** Private**Commenced Date:****Completion Date:** 24/10/2007**Final Depth:** 8.00 m**Drilled Depth:** 8.00 m**Contractor Name:** Macquarie Drilling**Driller:** Bryan Patrick Clancy**Assistant Driller:****Property:****GWMA:****GW Zone:****Standing Water Level (m):** 7.700**Salinity Description:****Yield (L/s):**

## Site Details

**Site Chosen By:****Form A:** CUMBERLAND  
**Licensed:****County****Parish**

PETERSHAM

**Cadastre**

1//880463

**Region:** 10 - Sydney South Coast**CMA Map:****River Basin:** - Unknown**Grid Zone:****Scale:****Area/District:****Elevation:** 0.00 m (A.H.D.)**Northing:** 6247600.000**Latitude:** 33°53'54.7"S**Elevation Source:** Unknown**Easting:** 331445.000**Longitude:** 151°10'37.4"E**GS Map:** -**MGA Zone:** 56**Coordinate Source:** Unknown

## Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure

Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	8.00	0			Auger - Solid Flight
1	1	Casing	Pvc Class 18	0.00	4.00	50			
1	1	Opening	Screen	4.00	8.00	50		0	PVC Class 18

## Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.10	0.10	CONCRETE	Conglomerate	
0.10	4.00	3.90	CLAY,BRICKS,GRAVELS,FINE SAND,SHALE	Clay	
4.00	8.00	4.00	SHALE,DARK BROWN,WEATHERED,MOIST	Shale	

\*\*\* End of GW111352 \*\*\*

Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

# WaterNSW

## Work Summary

**GW111353****Licence:****Licence Status:****Authorised Purpose(s):****Intended Purpose(s):** MONITORING BORE**Work Type:** Well**Work Status:****Construct.Method:** Auger - Solid**Owner Type:** Private**Commenced Date:****Completion Date:** 24/10/2007**Final Depth:** 7.00 m**Drilled Depth:** 7.00 m**Contractor Name:** Macquarie Drilling**Driller:** Bryan Patrick Clancy**Assistant Driller:****Property:****GWMA:****GW Zone:****Standing Water Level (m):** 2.500**Salinity Description:****Yield (L/s):**

## Site Details

**Site Chosen By:****County**  
**Form A:** CUMBERLAND  
**Licensed:****Parish**  
PETERSHAM**Cadastre**  
1//880463**Region:** 10 - Sydney South Coast**River Basin:** - Unknown  
**Area/District:****CMA Map:****Grid Zone:****Scale:****Elevation:** 0.00 m (A.H.D.)**Elevation Source:** Unknown**Northing:** 6247590.000**Easting:** 331440.000**Latitude:** 33°53'55.0"S**Longitude:** 151°10'37.2"E**GS Map:** -**MGA Zone:** 56**Coordinate Source:** Unknown

## Construction

Negative depths indicate Above Ground Level; C-Cemented; SL-Slot Length; A-Aperture; GS-Grain Size; Q-Quantity; PL-Placement of Gravel Pack; PC-Pressure



Cemented; S-Sump; CE-Centralisers

Hole	Pipe	Component	Type	From (m)	To (m)	Outside Diameter (mm)	Inside Diameter (mm)	Interval	Details
1		Hole	Hole	0.00	7.00	0			Auger - Solid Flight
1	1	Opening	Screen	0.00	3.00	50		0	PVC Class 18
1	1	Casing	Pvc Class 18	0.00	4.00	50			

## Drillers Log

From (m)	To (m)	Thickness (m)	Drillers Description	Geological Material	Comments
0.00	0.10	0.10	CONCRETE	Conglomerate	
0.10	4.00	3.90	CLAY,BROWN,RED,GREY,HARD, MOIST	Clay	
4.00	7.00	3.00	SHALE, GREY ,DARK BROWN, WEATHERED, NO COLOUR	Shale	

\*\*\* End of GW111353 \*\*\*

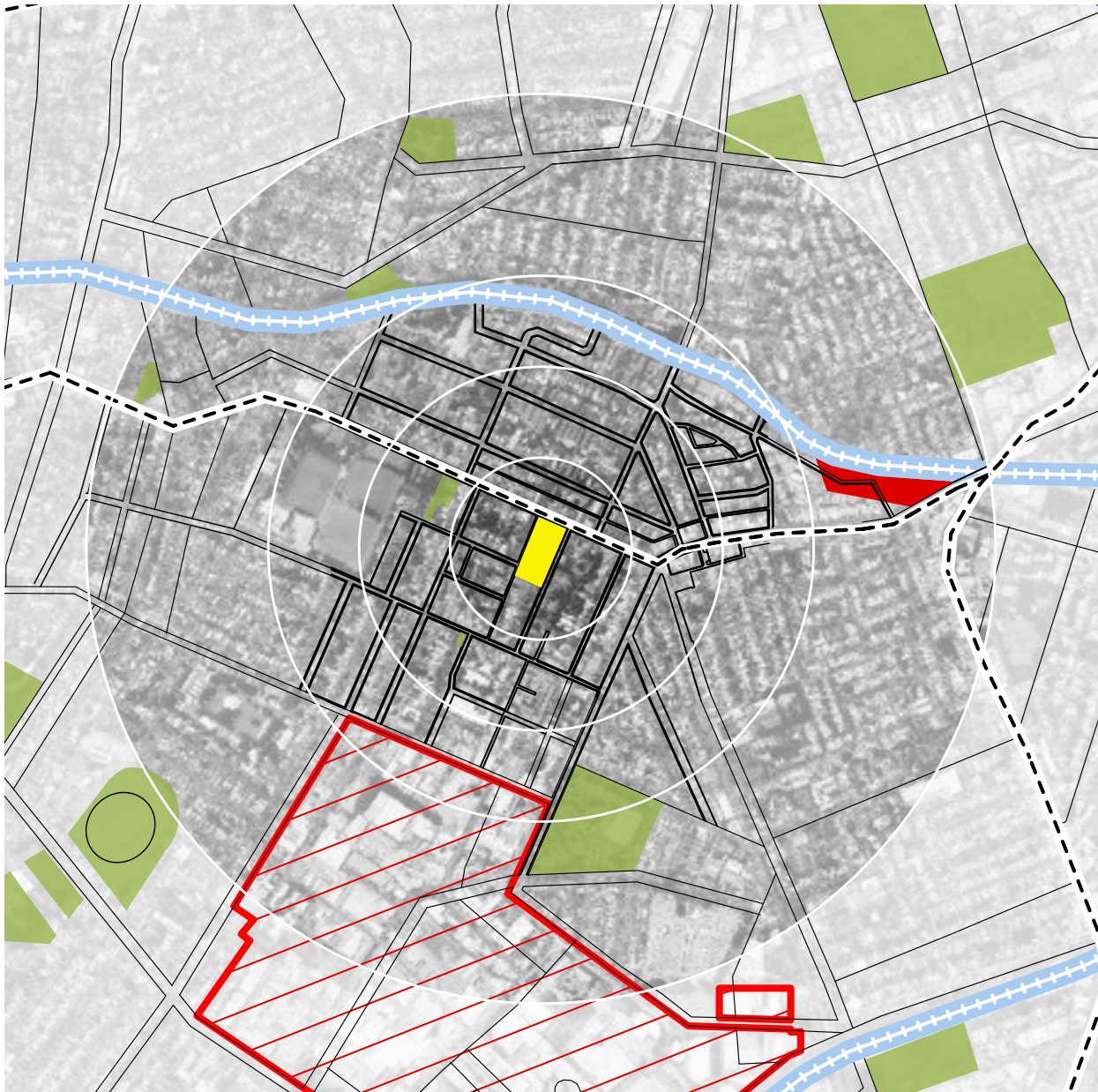
Warning To Clients: This raw data has been supplied to the WaterNSW by drillers, licensees and other sources. WaterNSW does not verify the accuracy of this data. The data is presented for use by you at your own risk. You should consider verifying this data before relying on it. Professional hydrogeological advice should be sought in interpreting and using this data.

## **APPENDIX G: PROPOSED DEVELOPMENT PLANS**

# 58-76 STANMORE ROAD

## STANMORE, NSW

### INDICATIVE SCHEME



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the architect.  
Drawings shall not be used for construction purposes until issued for construction.  
Do not scale drawings.  
All boundaries and contours subject to survey.

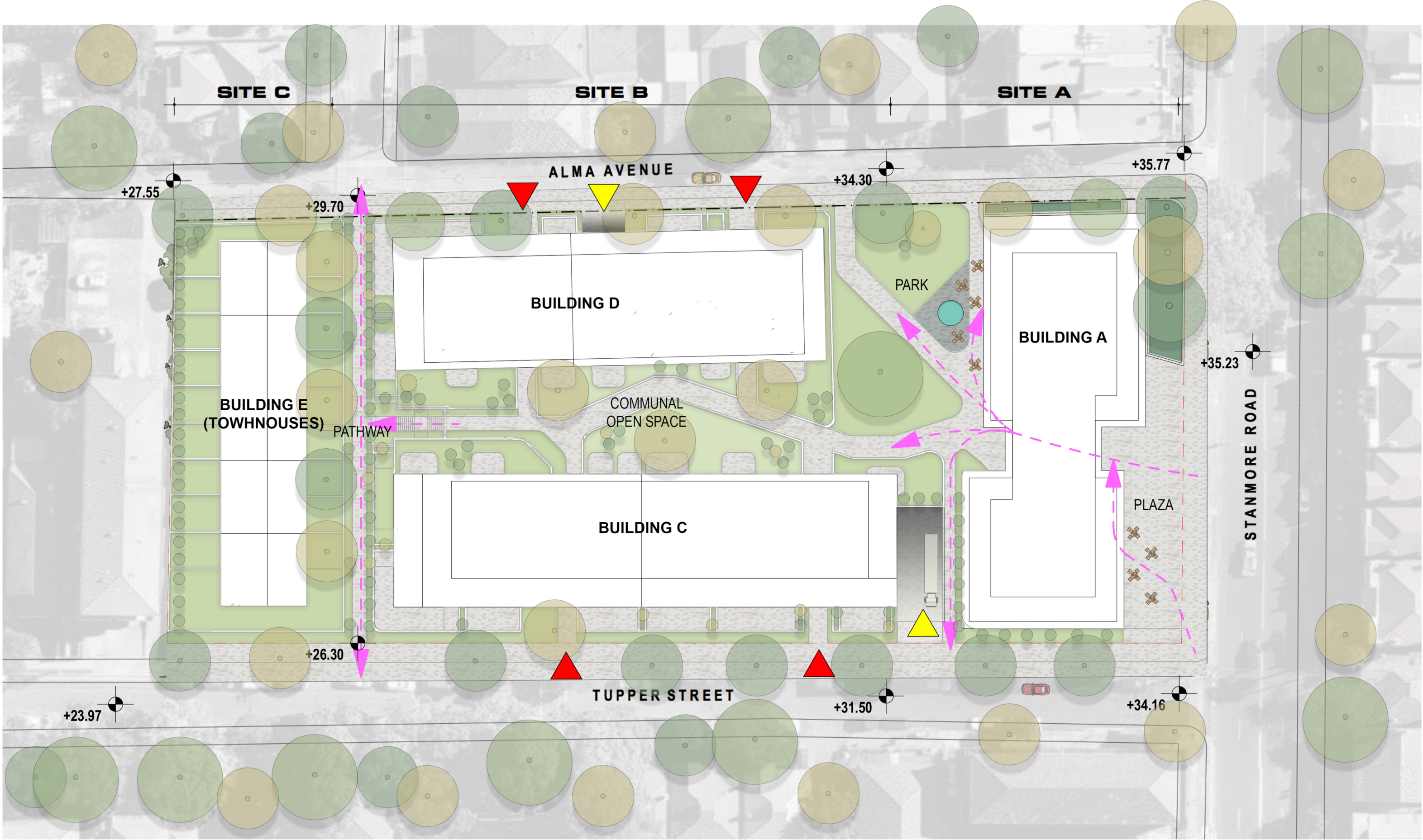
Printed 14/10/2021  
**PRELIMINARY**

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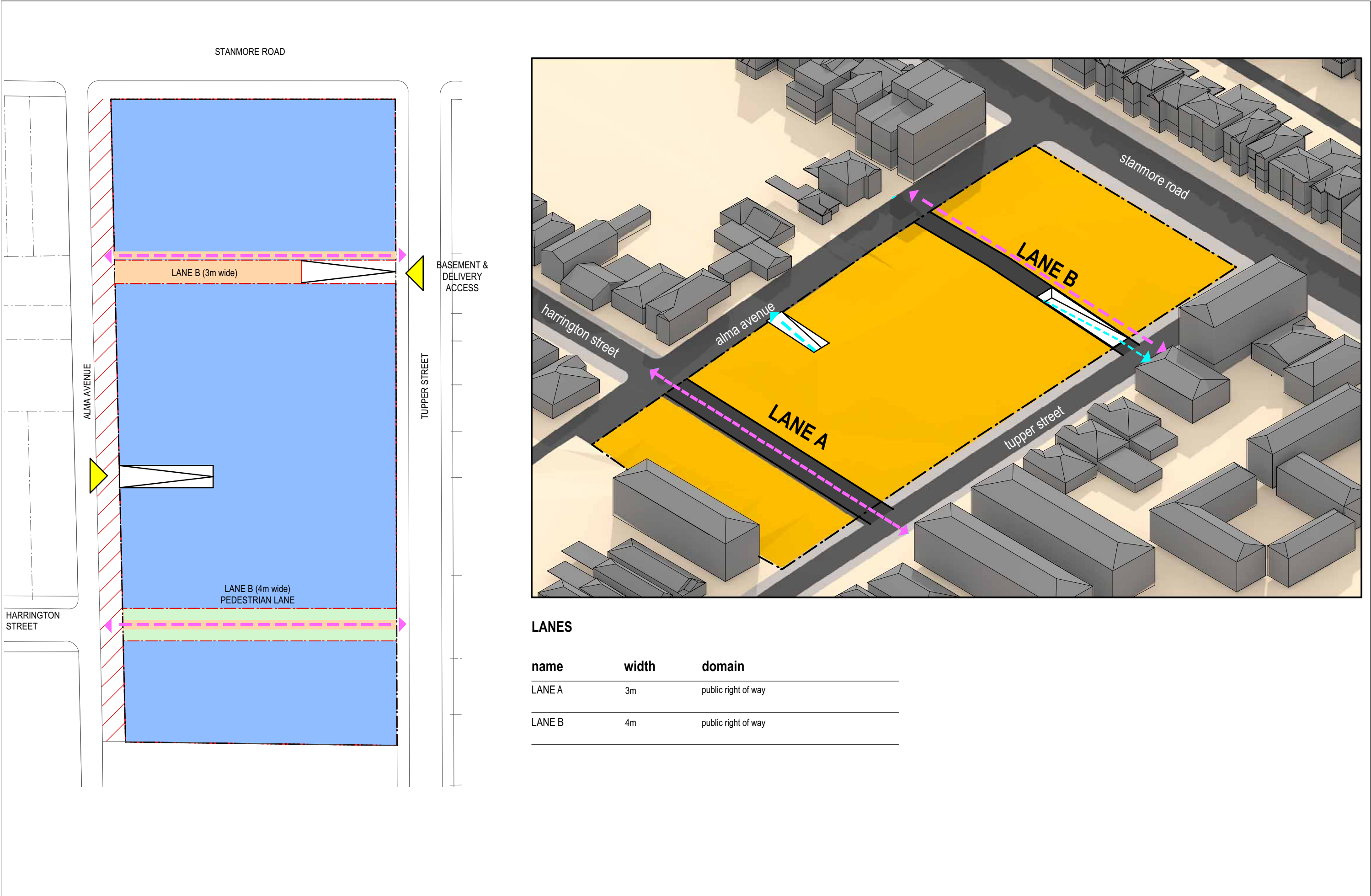
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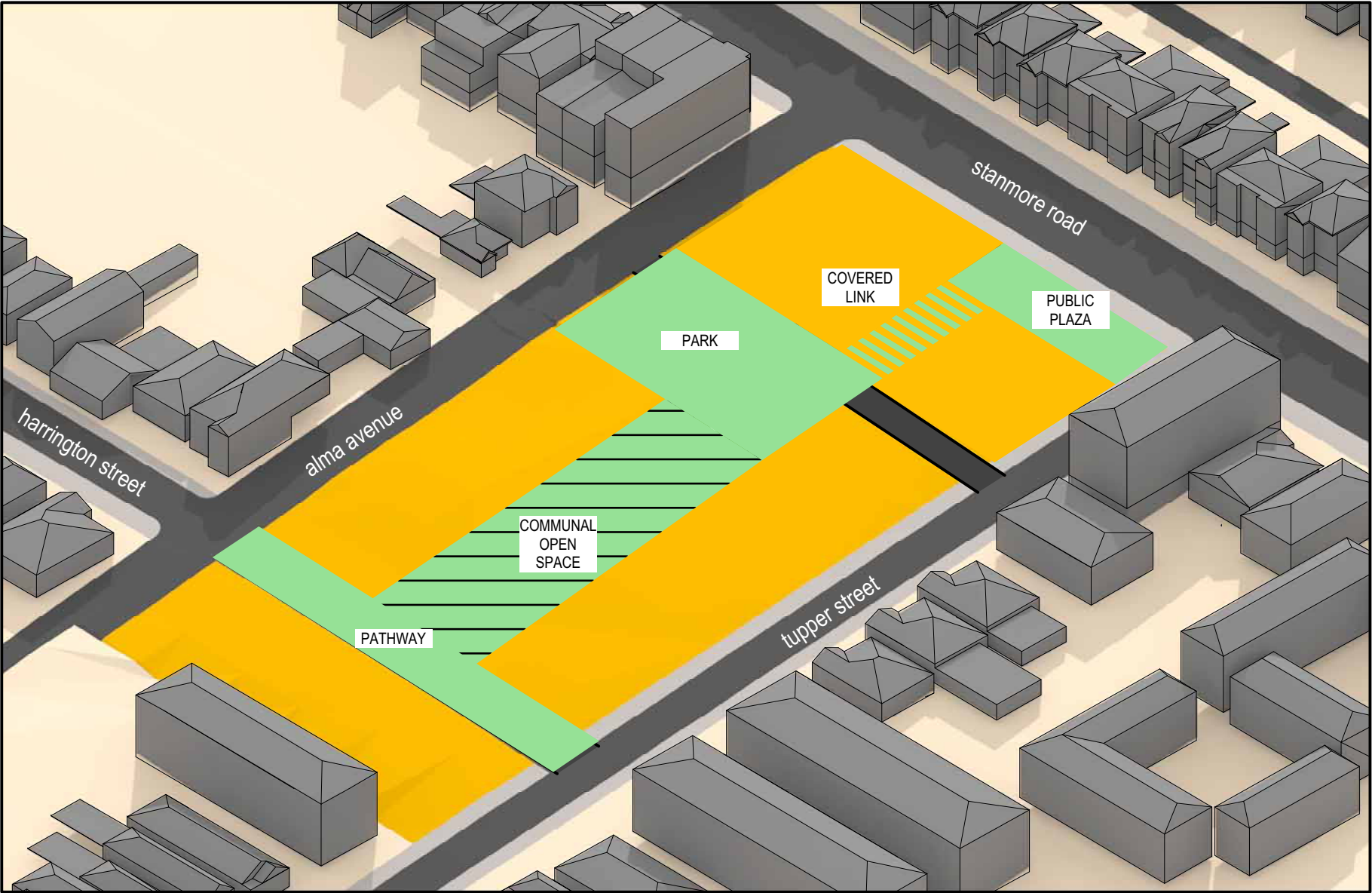




LANES

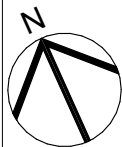
name	width	domain
LANE A	3m	public right of way
LANE B	4m	public right of way





OPEN SPACE

name	location	area (m²)
PUBLIC PLAZA	stanmore road level	450
COMMUNAL OPEN SPACE	podium level	685
PARK	podium level	830
PATHWAY	lower level	250



General Notes:  
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All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

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**PRELIMINARY**

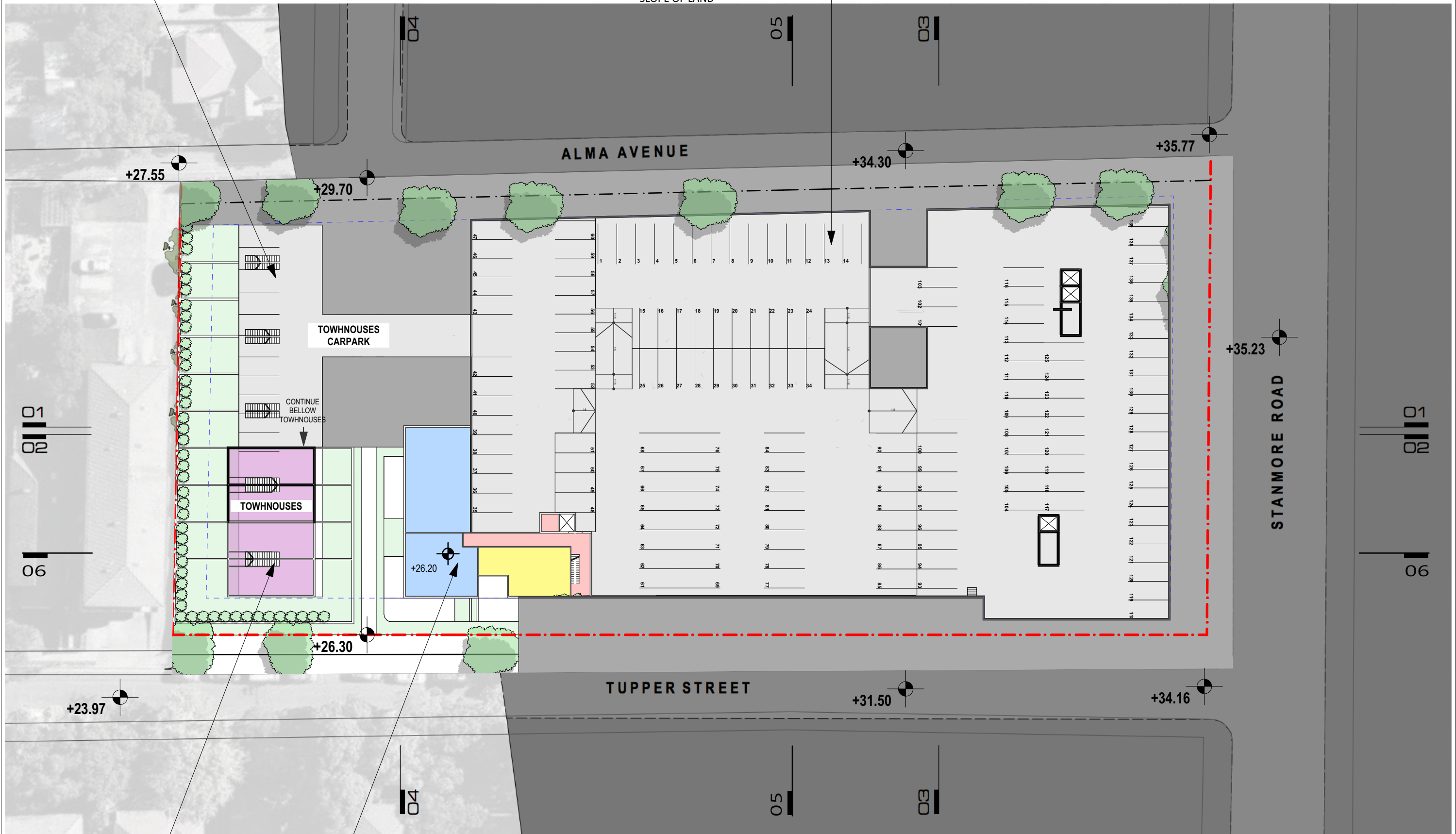
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				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:  
**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

OPEN SPACE		DRAWING SET ID:	SK 2	ISSUE
		SUBSET: DIAGRAMS	SK 202	
SCALE:	P A S TUDIO LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288	DRAWN BY: DOC/SU/FK/WH		
AS SHOWN		FILE: STAN58		

PARKING UNDER BUILDING TO  
MAXIMISE DEEP SOIL

SPLIT LEVEL PARKING TO IMPROVE  
VEHICULAR CIRCULATION AND FOLLOW  
SLOPE OF LAND

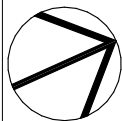


TOWN HOUSES HAVE 2  
STOREY APPEARANCE WHEN  
VIEWED FROM SOUTH AND  
NO LONGER OVERSHADOW

APARTMENTS FACE THROUGH  
SITE LINK FOR SURVEILLANCE

LOWER GROUND FLOOR 03

1:500



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
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All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

LOWER GROUND FLOOR 03 PLAN

SCALE:  
AS SHOWN

**P A S TUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

SUBSET: FLOOR PLANS

DRAWN BY: DOC/SU/FK/WH

FILE: STAN58

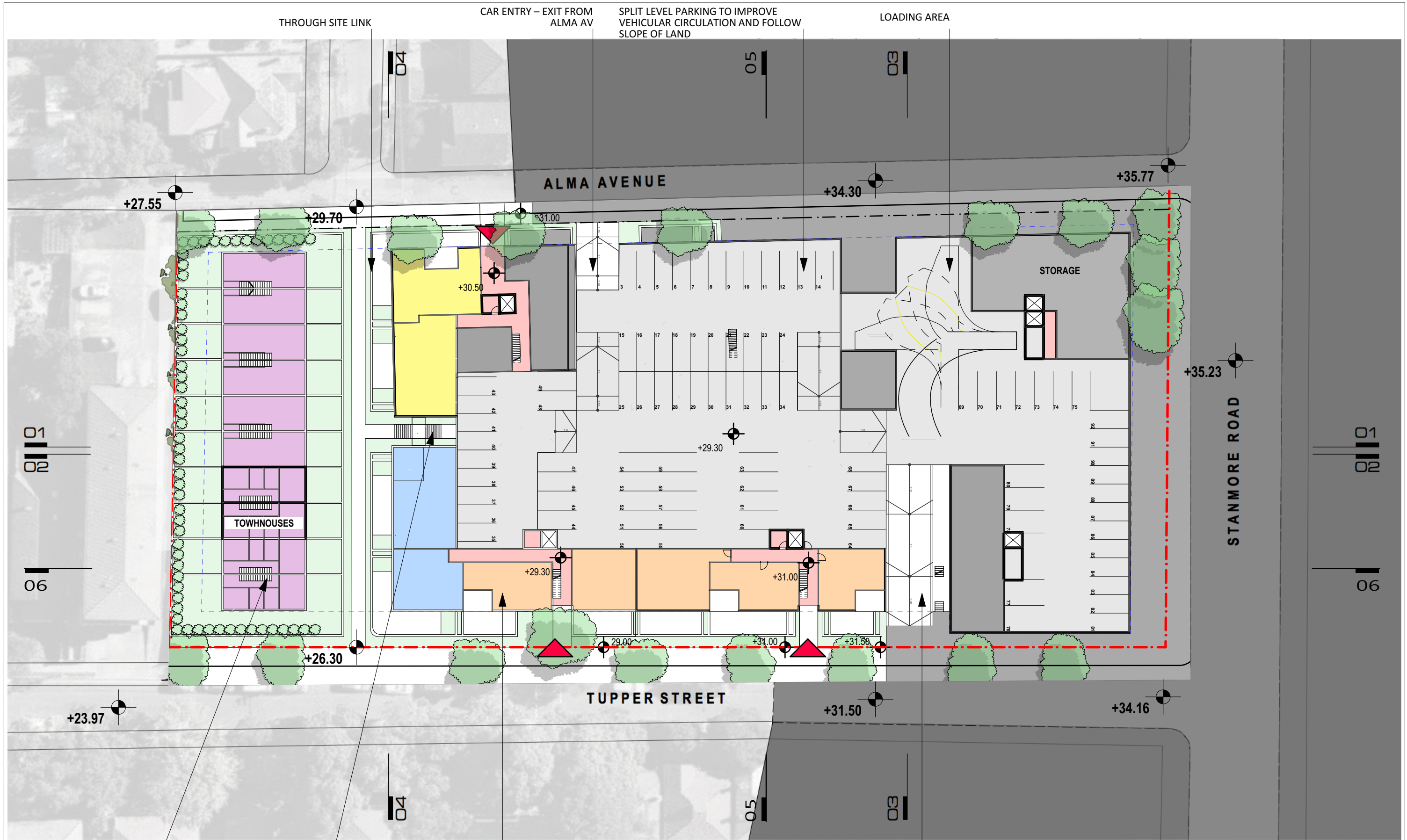
SK 3

**SK 301**

ISSUE

B





TOWN HOUSES HAVE 2  
STOREY APPEARANCE WHEN  
VIEWED FROM SOUTH AND  
NO LONGER OVERSHADOW

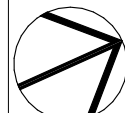
STAIRS CONECT TO  
COMMUNAL OPEN SPACE

APARTMENTS HAVE DIRECT  
ACCESS TO TUPPER STREET

LOADING AND PARKING  
ACCESS

LOWER GROUND FLOOR 02

1:500



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
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Do not scale drawings.  
All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
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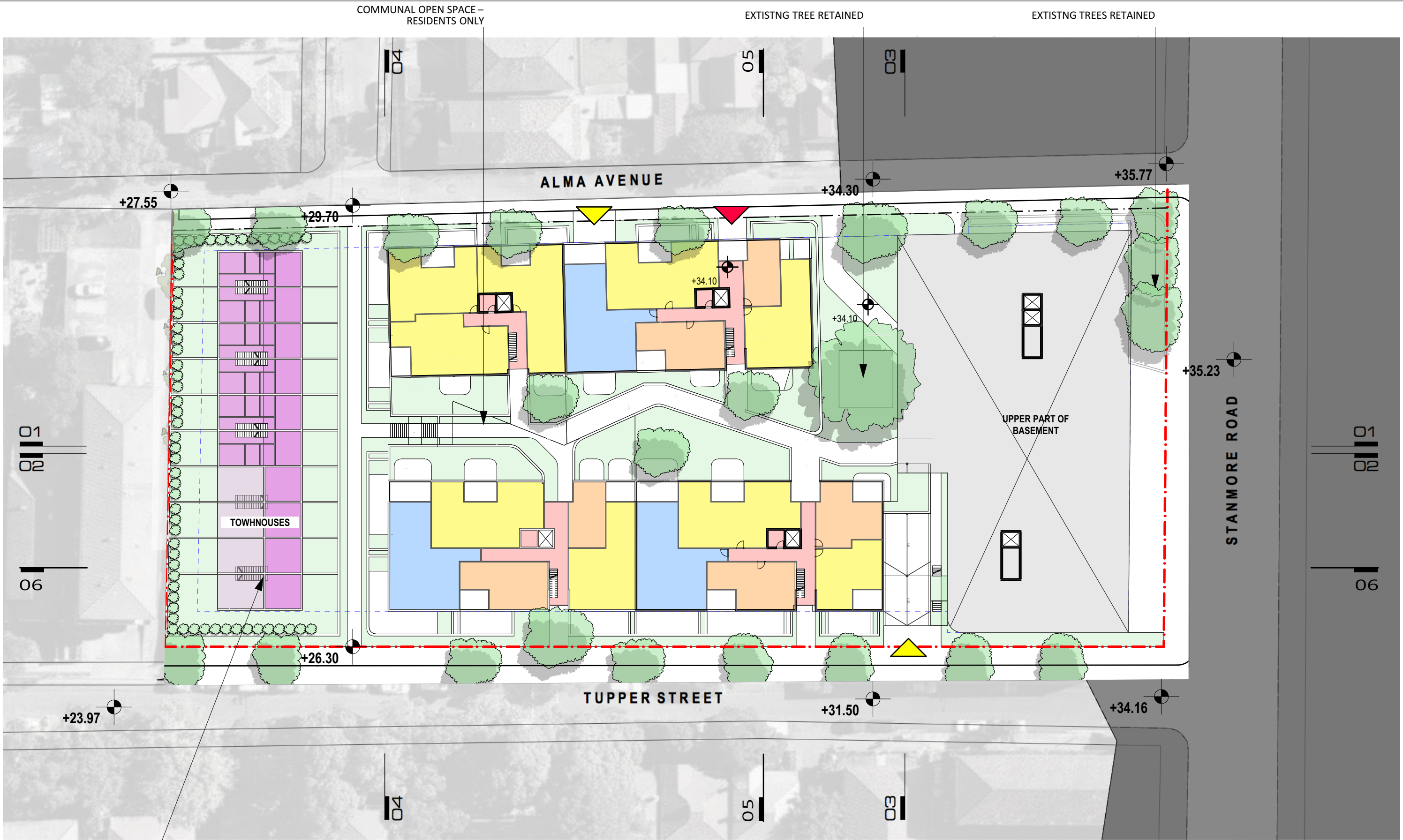
PROJECT:

**Cyprus club**  
58-76 stanmore road Stanmore NSW  
Australia  
#Site Custom

LOWER GROUND FLOOR 02 PLAN

SCALE:	<b>P A S TUDIO</b> LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288
AS SHOWN	

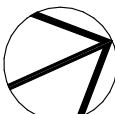
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SUBSET:	FLOOR PLANS		
DRAWN BY:	DOC/SU/FK/WH		
FILE:	STAN58	<b>SK 302</b>	B



TOWN HOUSES HAVE 2  
STOREY APPEARANCE WHEN  
VIEWED FROM SOUTH AND  
NO LONGER OVERSHADOW

LOWER GROUND FLOOR 01

1:500



General Notes:  
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Do not scale drawings.  
All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021

**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
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				A	ORIGINAL ISSUE		06.09.21

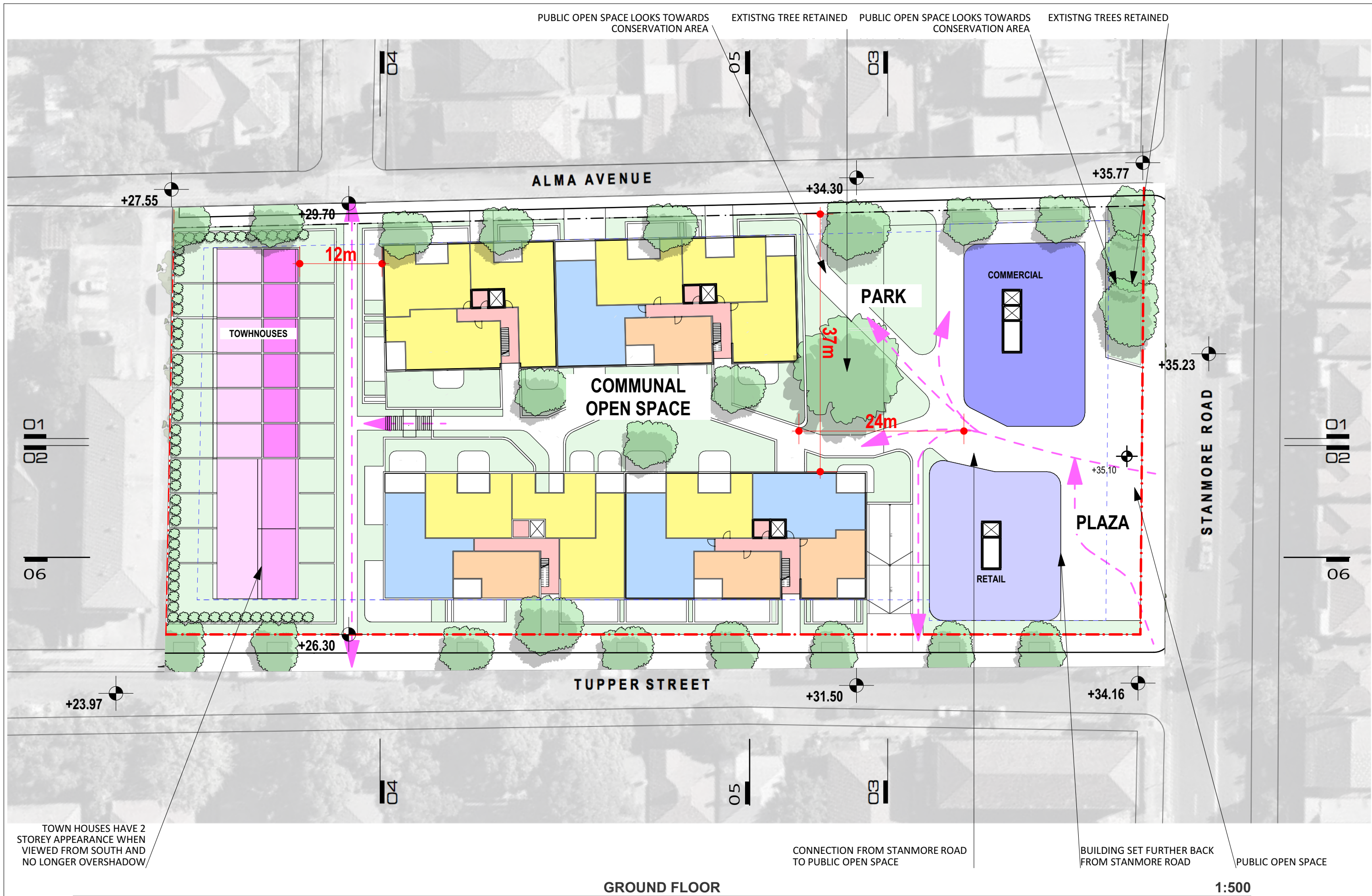
PROJECT:

**Cyprus club**  
58-76 stanmore road Stanmore NSW  
Australia  
#Site Custom

LOWER GROUND FLOOR 01 PLAN	
SCALE:	<b>P A STUDIO</b> LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288
AS SHOWN	

DRAWING SET ID:	<b>SK 3</b>	ISSUE
SUBSET:	FLOOR PLANS	
DRAWN BY:	DOC/SU/FK/WH	
FILE:	STAN58	<b>SK 303</b>
		B





	PROJECT:										GROUND FLOOR PLAN		DRAWING SET ID:	SK 3	ISSUE		
	Cyprus club												SUBSET:	FLOOR PLANS			
	58-76 stanmore road Stanmore NSW												DRAWN BY:	DOC/SU/FK/WH			
	#Site Custom												FILE:	STAN58			
SCALE:		AS SHOWN		LEVEL 2: 20 YOUNG ST. NEUTRAL BAY, NSW 2089		TEL: 8968 1900 FAX: 8968 1999		ACN: 603 389 288		SK 304		B					
DATE:		13.10.21		06.09.21													
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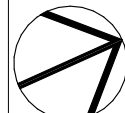


TOWN HOUSES HAVE 2  
STOREY APPEARANCE WHEN  
VIEWED FROM SOUTH AND  
NO LONGER OVERSHADOW

BUILDING SET FURTHER BACK  
FROM STANMORE ROAD

FIRST FLOOR

1:500



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
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FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

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				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
58-76 stanmore road Stanmore NSW  
Australia  
#Site Custom

SCALE:

AS SHOWN

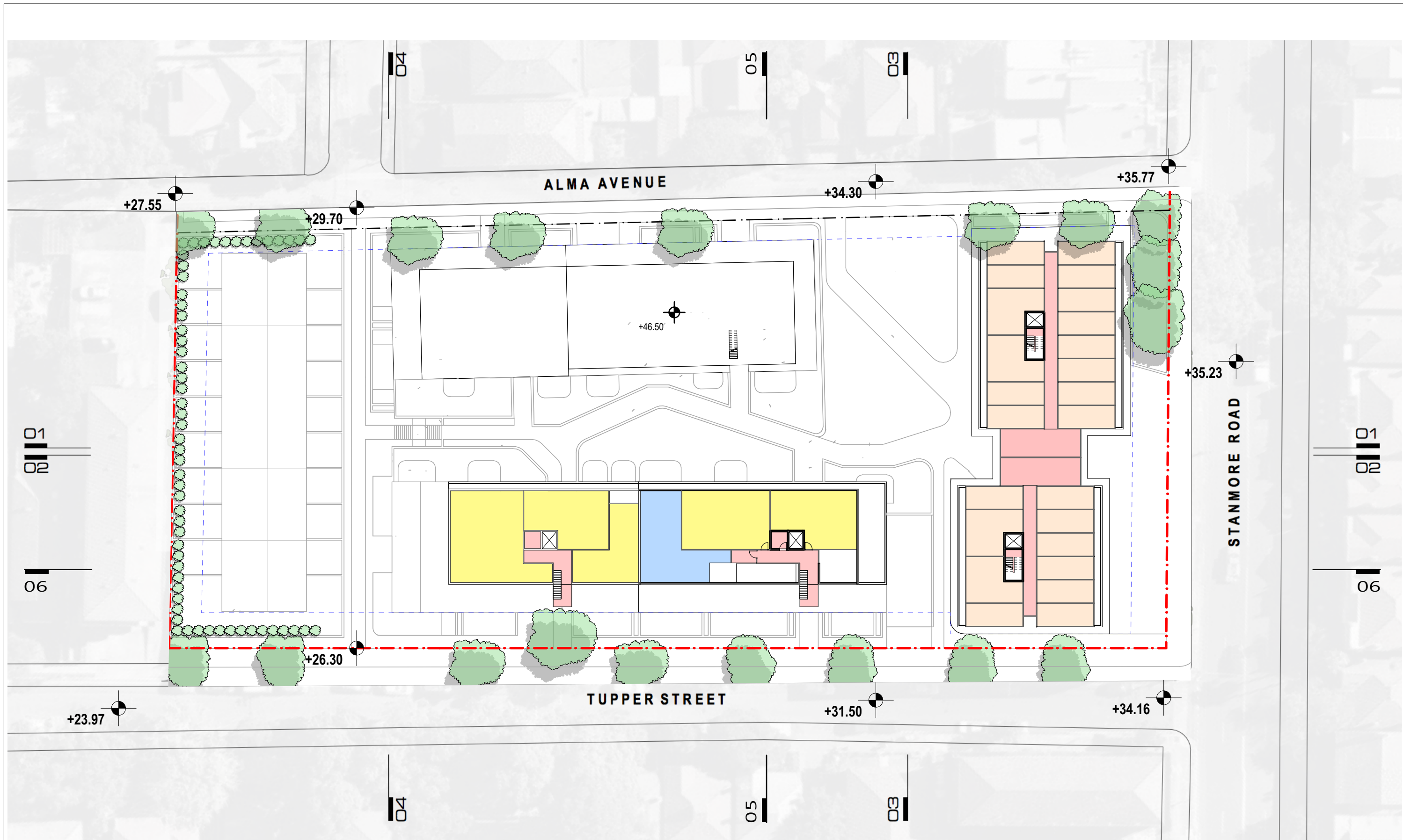
**FIRST FLOOR PLAN**

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

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SUBSET: FLOOR PLANS	SK 305	B
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FILE: STAN58		

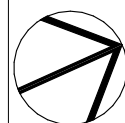






THIRD FLOOR

1:500



General Notes:  
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FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

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**PRELIMINARY**

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				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

THIRD FLOOR PLAN

SCALE:  
AS SHOWN

**P.A. STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 3**

SUBSET: FLOOR PLANS

DRAWN BY: DOC/SU/FK/WH

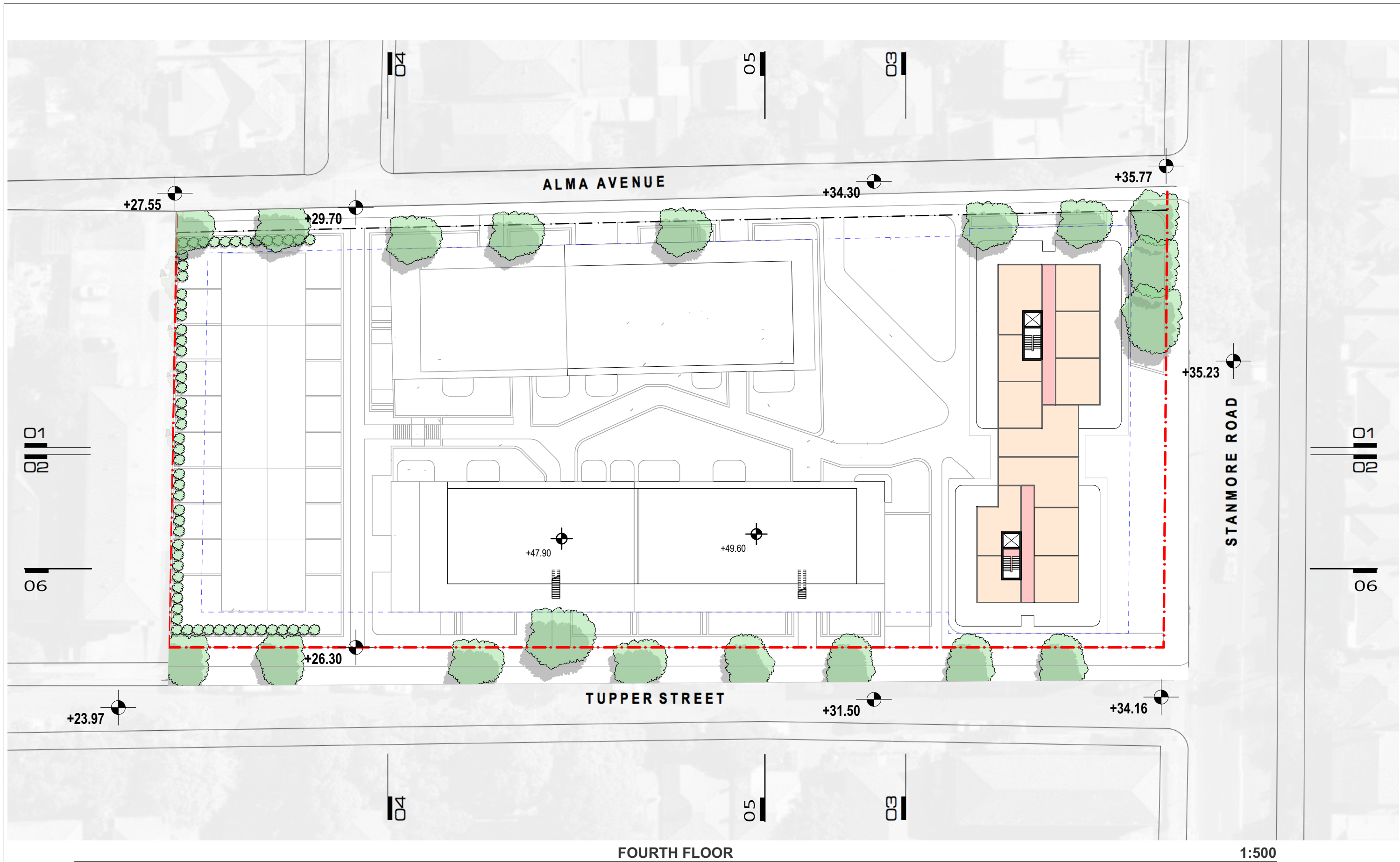
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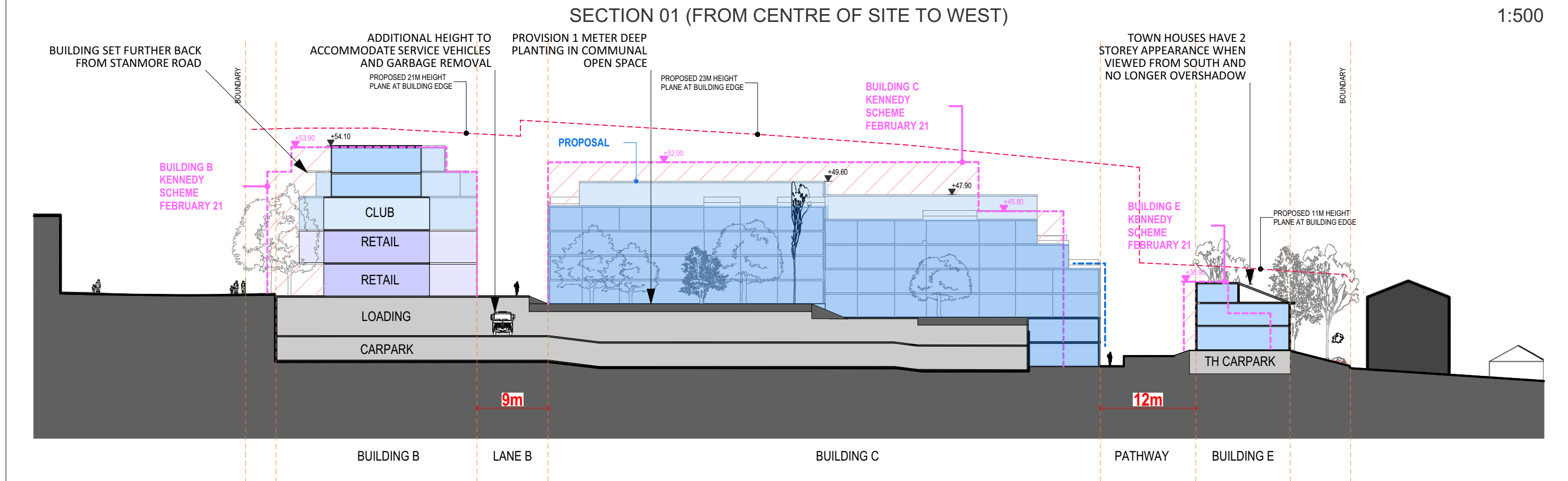
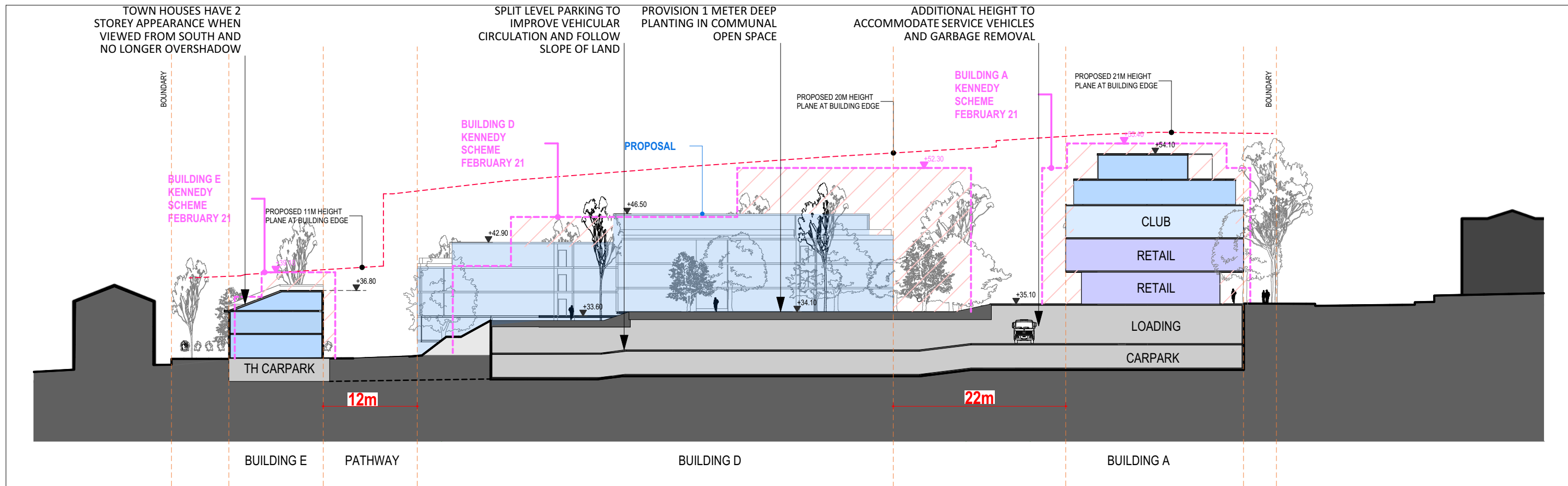
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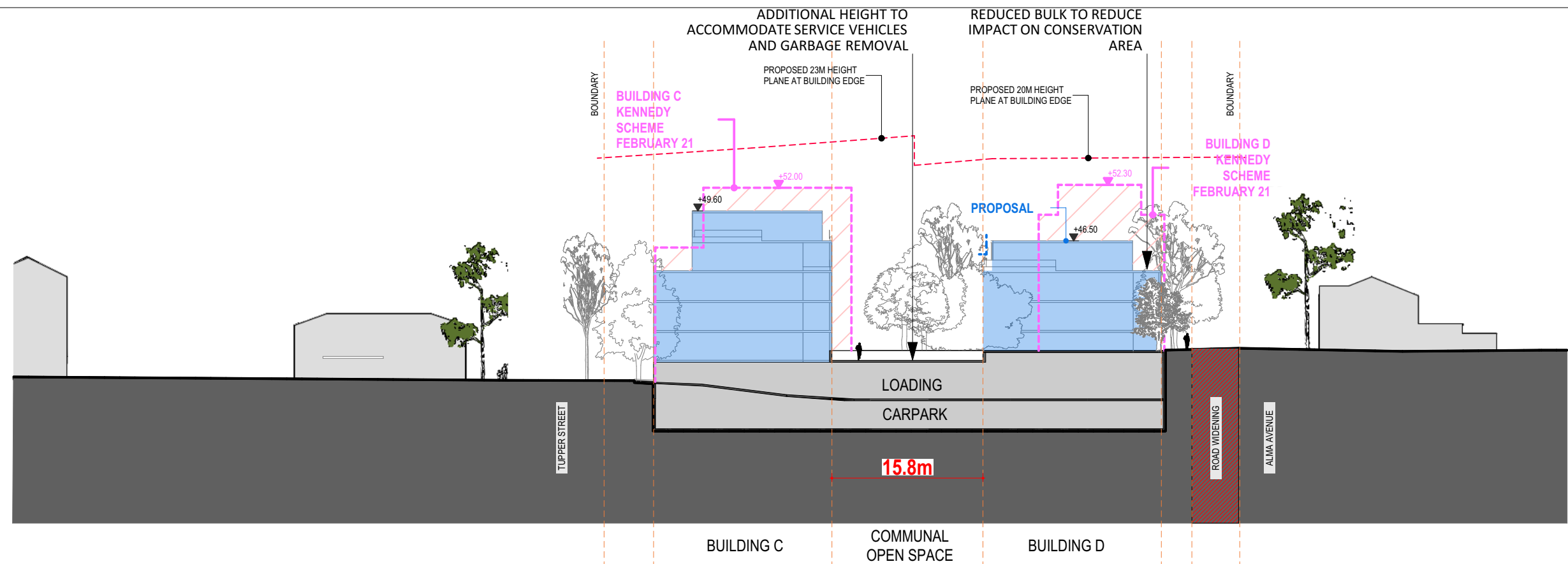
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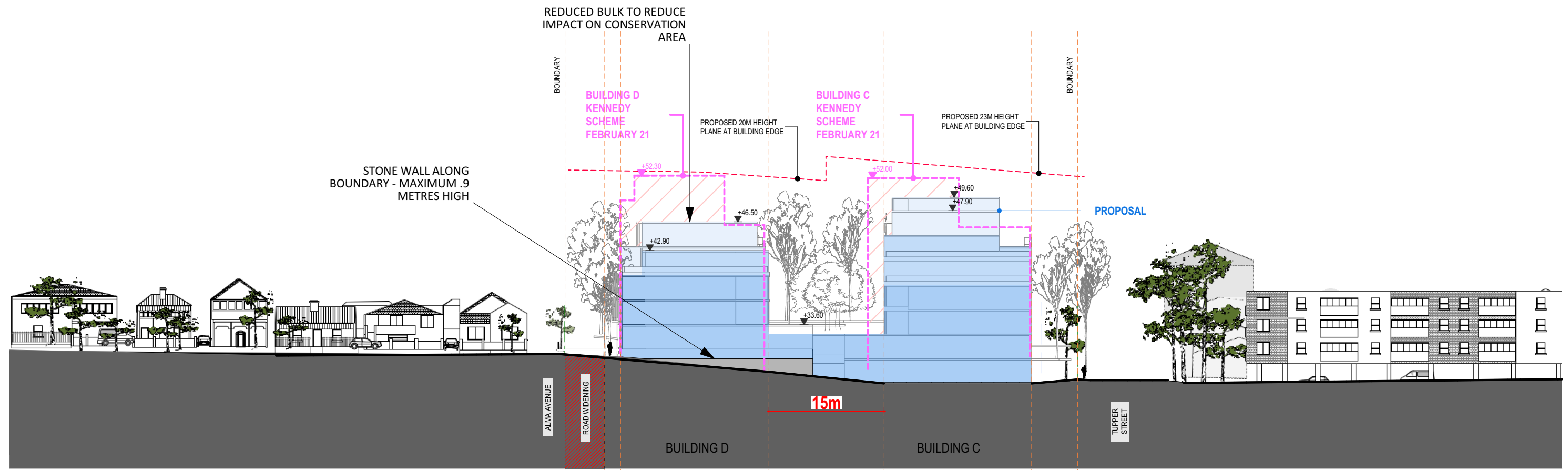


SECTION (FROM CENTRE OF SITE TO EAST)															1:500									
<div>General Notes: The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Drawings shall not be used for construction purposes until issued for construction. Do not scale drawings. All boundaries and contours subject to survey.</div> <div>Printed 18/10/2021</div> <div>PRELIMINARY</div> <div>FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58</div>												<div>PROJECT:</div> <div>Cyprus club</div> <div>58-76 stanmore road Stanmore NSW</div> <div>Australia</div> <div>#Site Custom</div>				S-01 & 02 SECTIONS				DRAWING SET ID:		SK 4		ISSUE
				SUBSET: SECTIONS		SK 401																		
				SCALE:				<div>P A S T U D I O</div> <div>LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089</div> <div>TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288</div>				DRAWN BY: DOC/SU/FK/WH		B										
				AS SHOWN		FILE: STAN58																		
ISSUE		REVISIONS		COUNCIL BUILDER OTHERS		DATE		ISSUE		REVISIONS		COUNCIL BUILDER OTHERS		DATE										
								B		ADDITIONAL DOCUMENTS				13.10.21										
								A		ORIGINAL ISSUE				06.09.21										



SECTION 03 (LANE B)

1:500



SECTION 04 (LANE A)

1:500

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Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

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				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**S-03 & 04 SECTIONS**

SCALE:  
AS SHOWN

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 4**

SUBSET: SECTIONS

DRAWN BY: DOC/SU/FK/WH

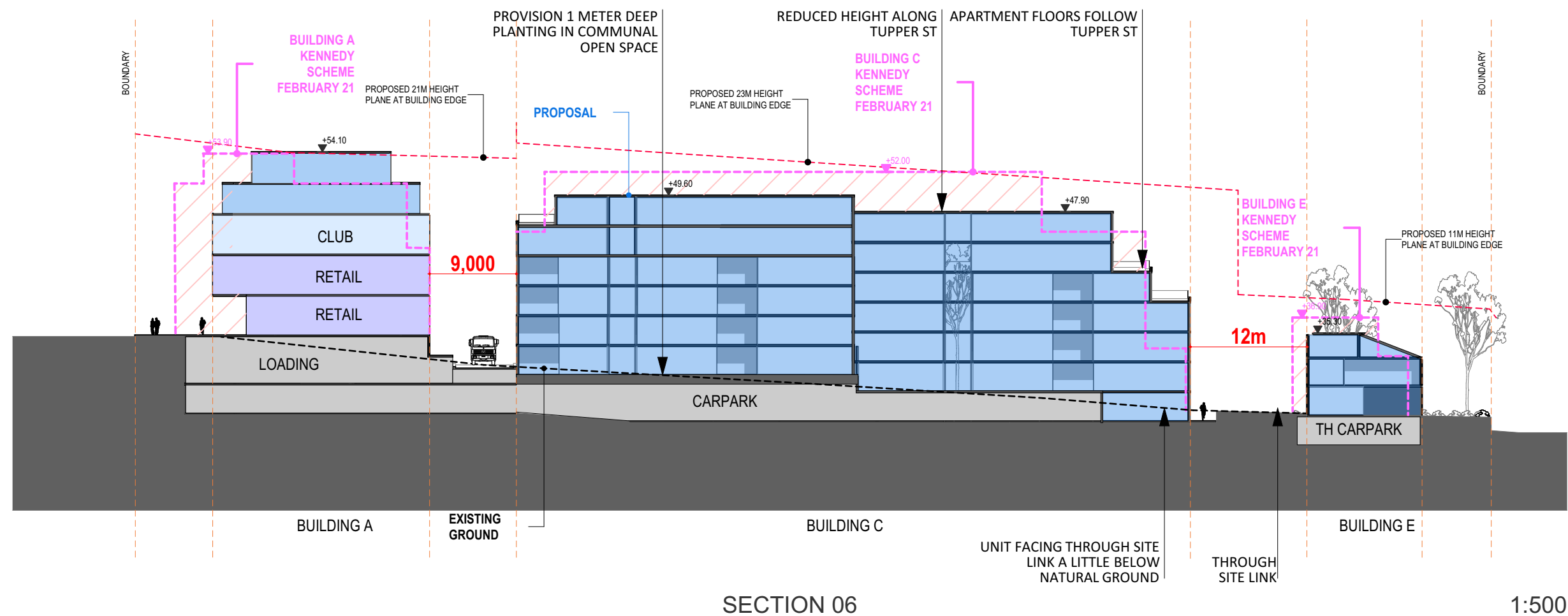
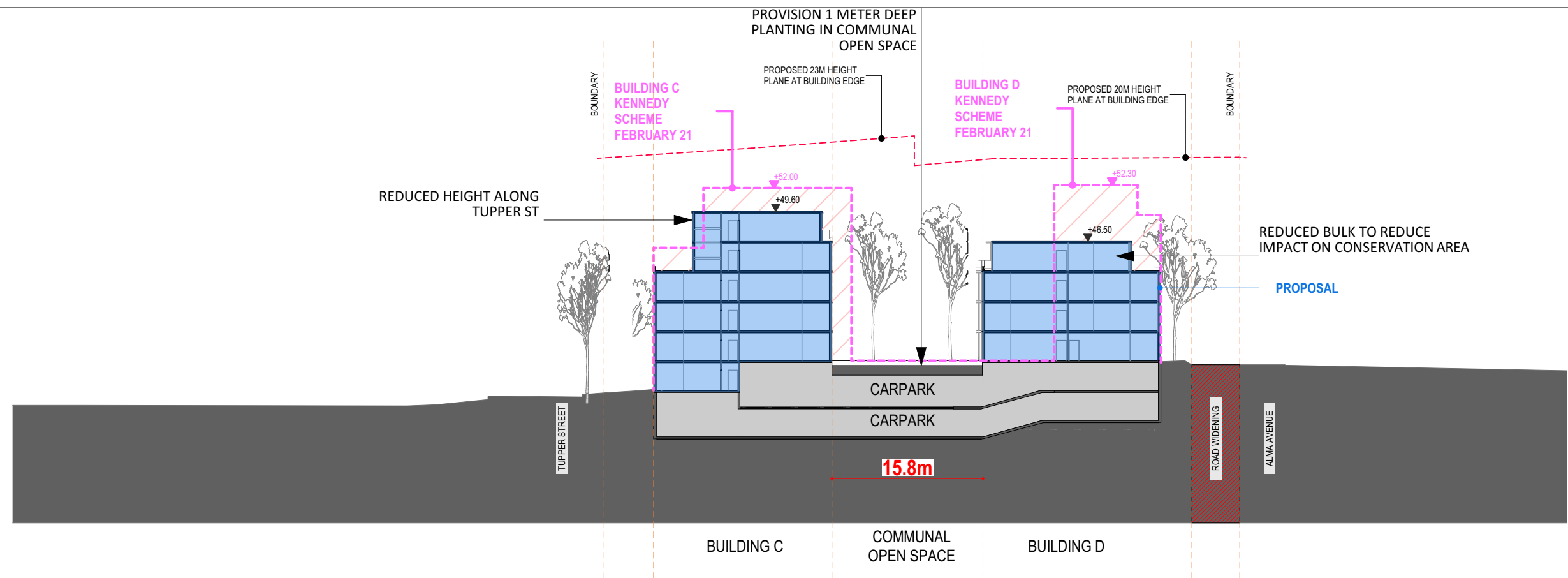
FILE: STAN58

**SK 402**

ISSUE

**B**





General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
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Do not scale drawings.  
All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**S-05 & 06 SECTIONS**

SCALE:  
AS SHOWN

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 4**

SUBSET: SECTIONS

DRAWN BY: DOC/SU/FK/WH

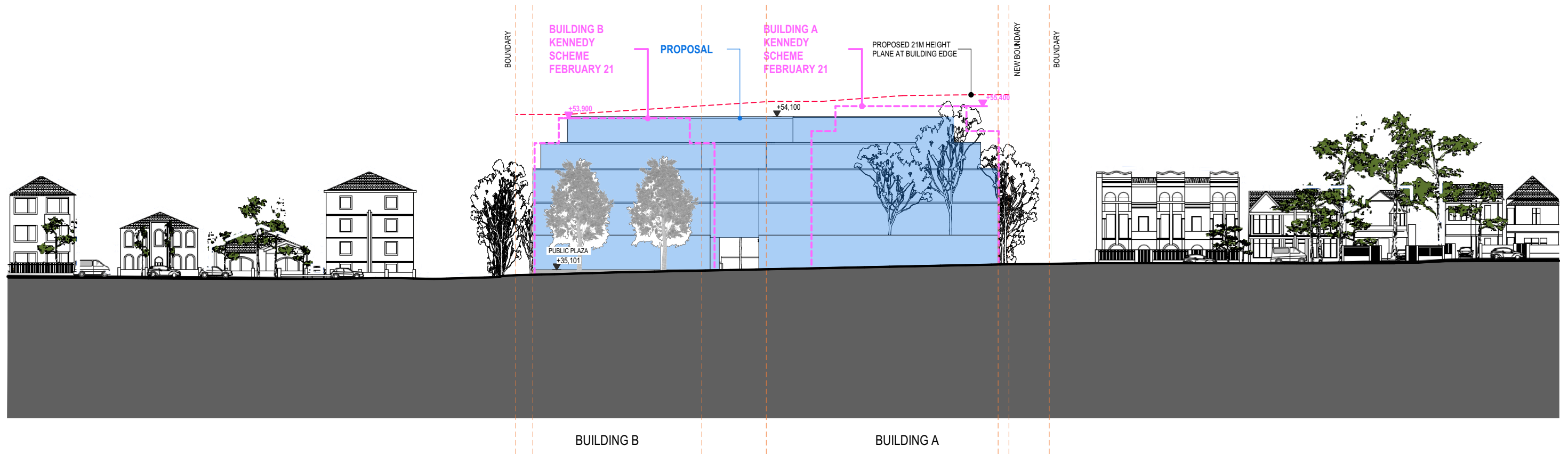
FILE: STAN58

**SK 403**

ISSUE

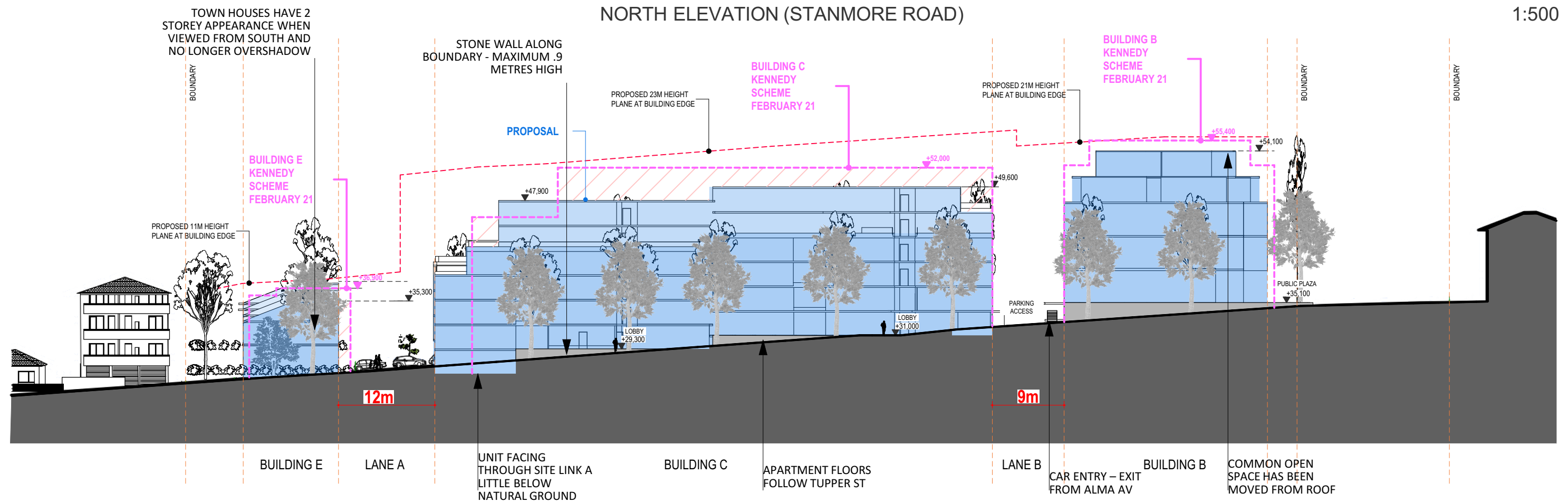
**B**





NORTH ELEVATION (STANMORE ROAD)

1:500



EAST ELEVATION (TUPPER STREET)

1:500

General Notes:  
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Do not scale drawings.  
All boundaries and contours subject to survey.

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

E-01 & 02 ELEVATIONS

SCALE:  
AS SHOWN

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 5**

SUBSET: ELEVATIONS

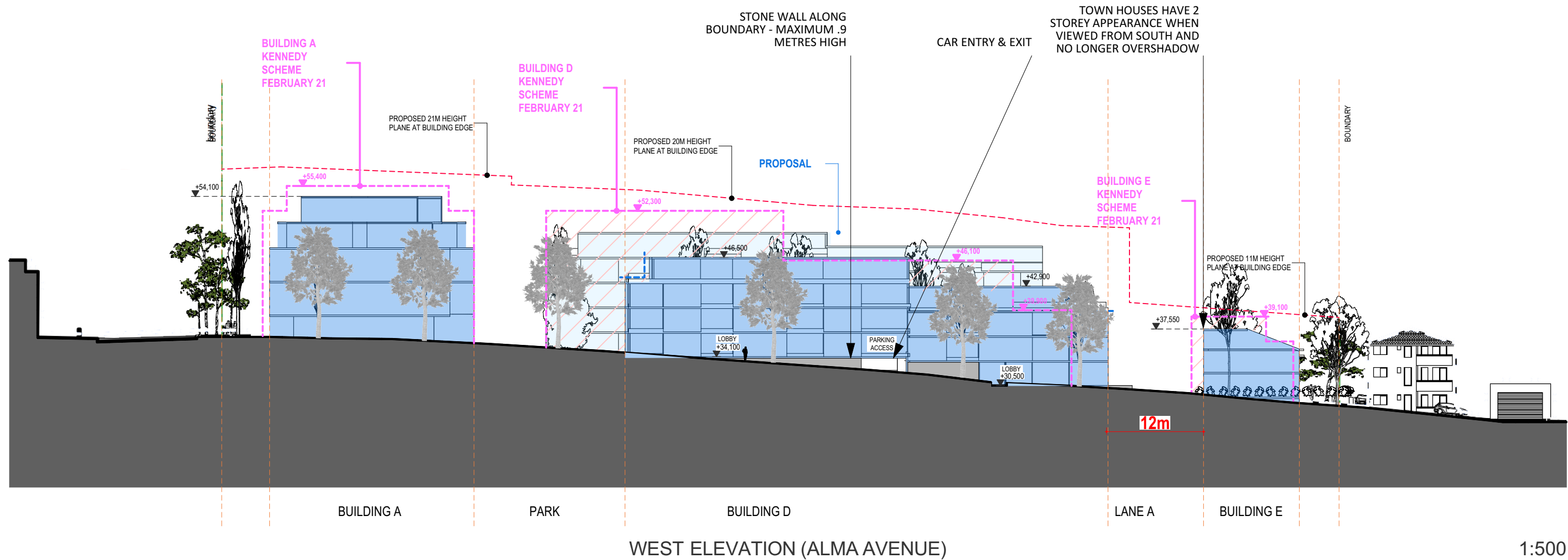
DRAWN BY: DOC/SU/FK/WH

FILE: STAN58

**SK 501**

ISSUE

**B**



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the architect.  
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Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**E-03 ELEVATION**

SCALE:  
AS SHOWN

**P A S T U D I O**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 5**

SUBSET: ELEVATIONS

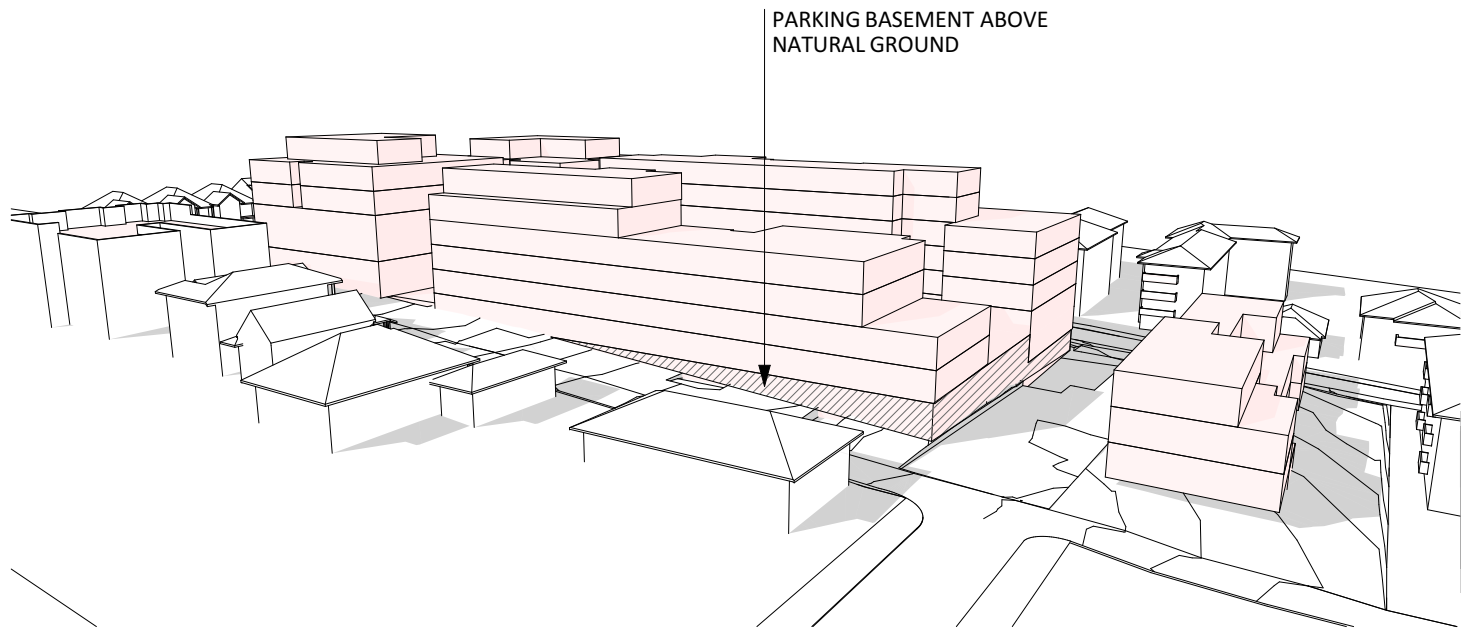
DRAWN BY: DOC/SU/FK/WH

FILE: STAN58

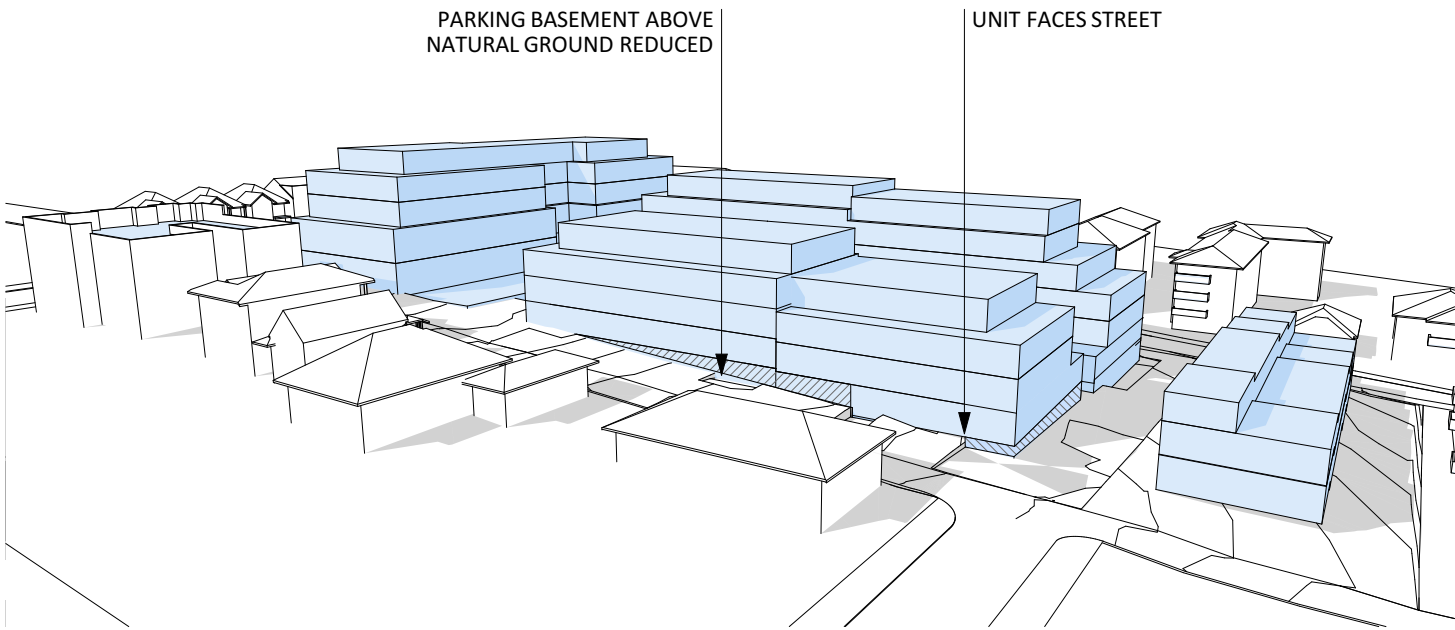
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ISSUE

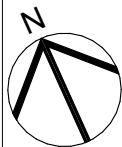
**B**



Kennedy - West site view



Project - West site view



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
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Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:  
**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

3D VIEWS SHEET 01

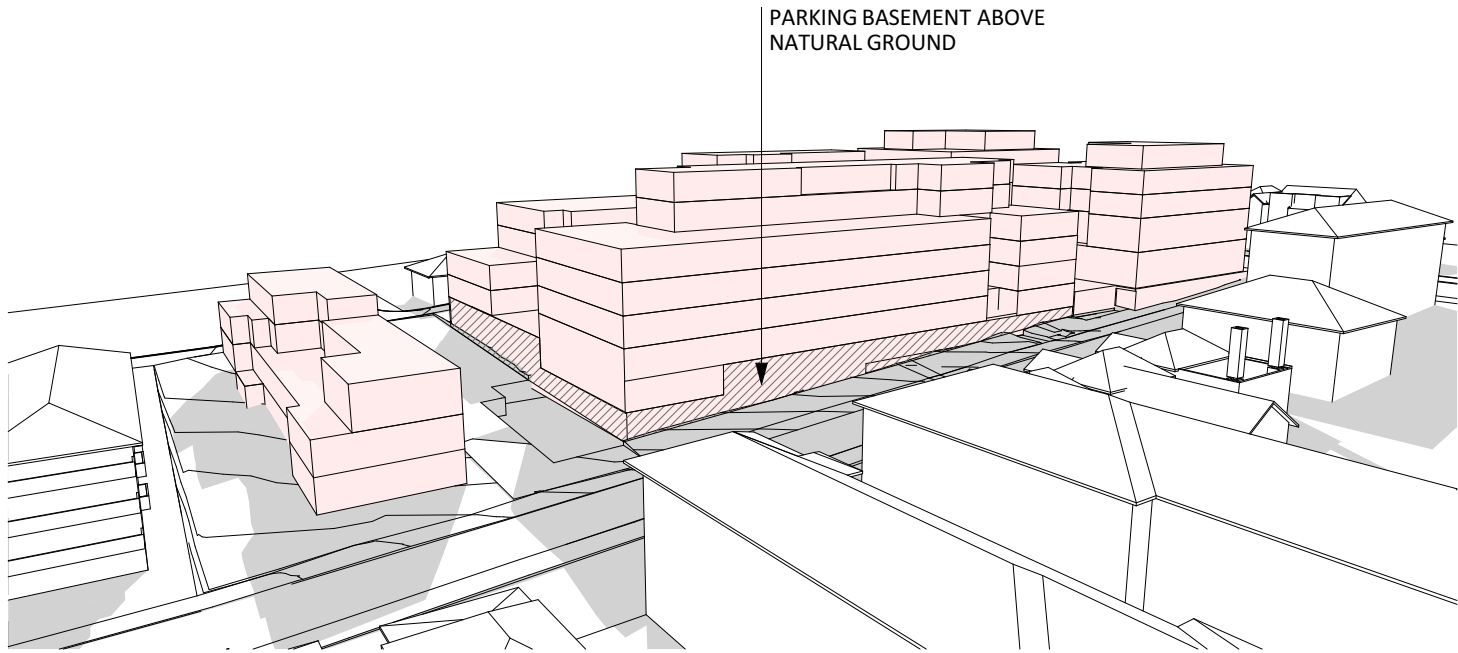
SCALE:  
AS SHOWN

**P A S T U D I O**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

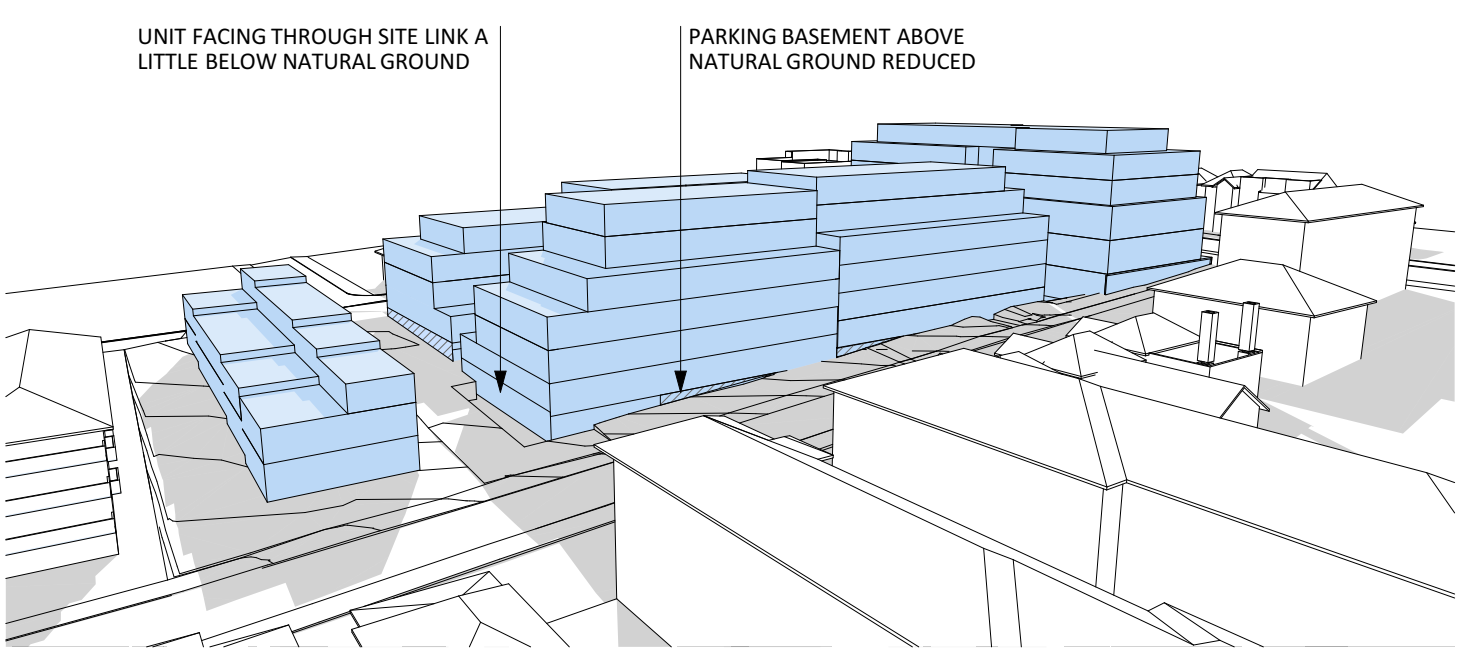
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SUBSET: 3D VIEWS  
DRAWN BY: DOC/SU/FK/WH  
FILE: STAN58

**SK 6**  
**SK 601**

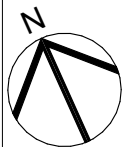
ISSUE  
**B**



Kennedy - East site view



Project - East site view



General Notes:  
The Builder shall check all dimensions and levels on site prior to construction.  
Notify any errors, discrepancies or omissions to the architect.  
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All boundaries and contours subject to survey.

Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:  
**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

3D VIEWS SHEET 02

SCALE:  
AS SHOWN

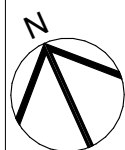
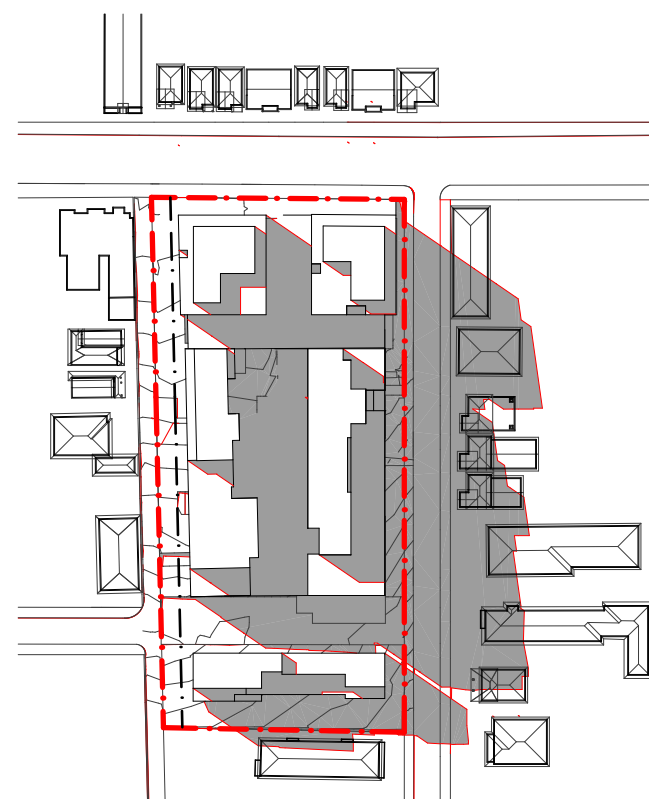
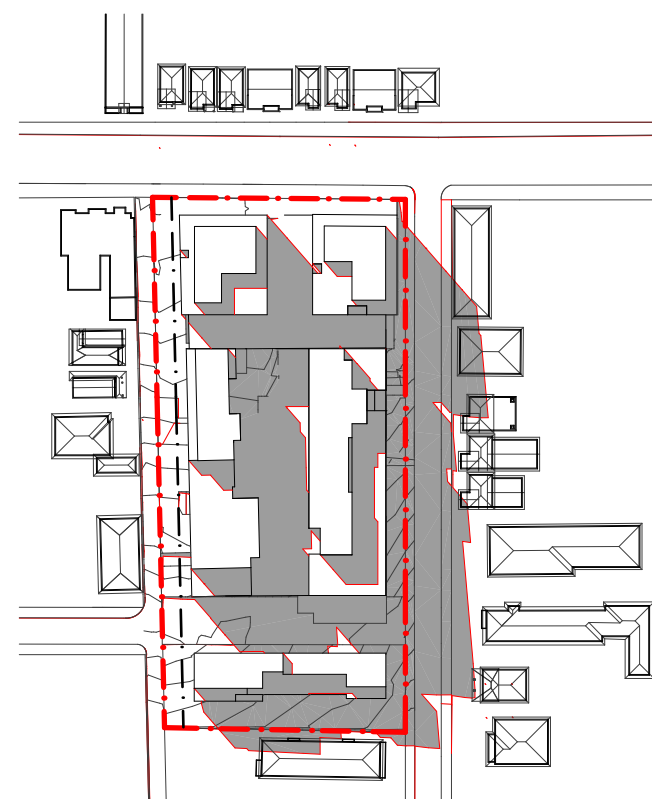
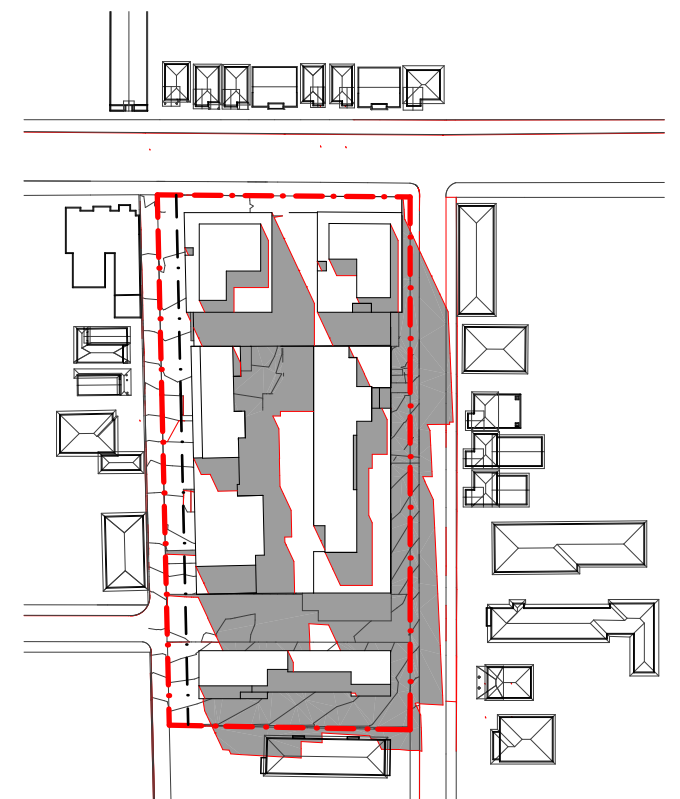
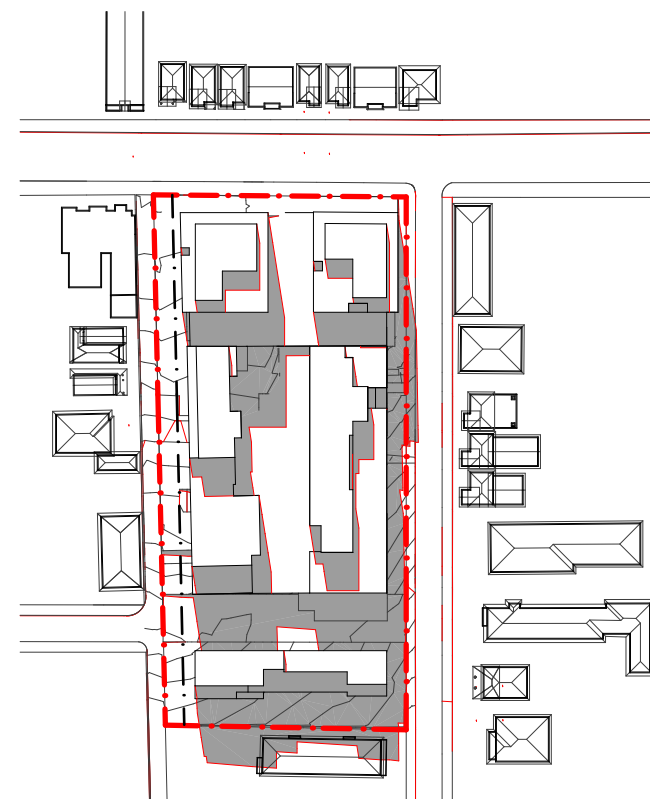
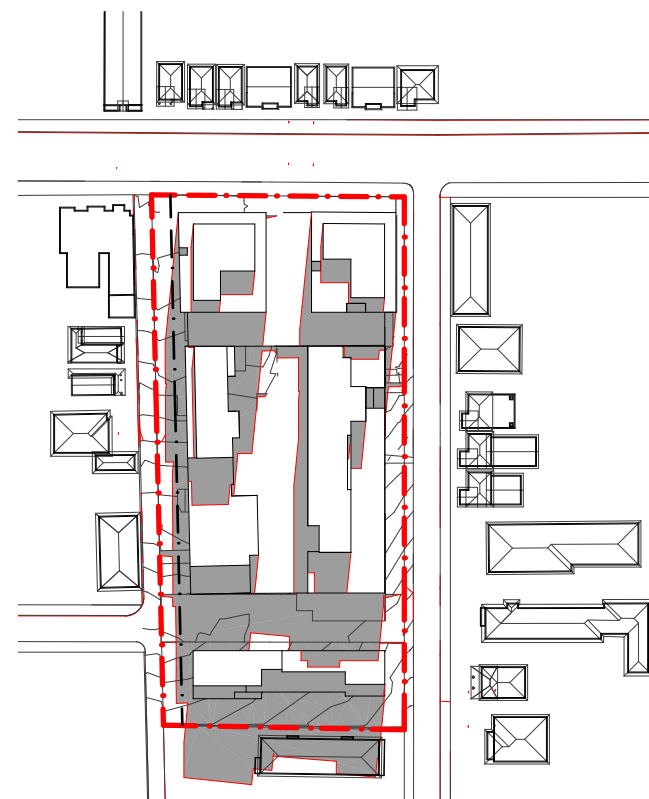
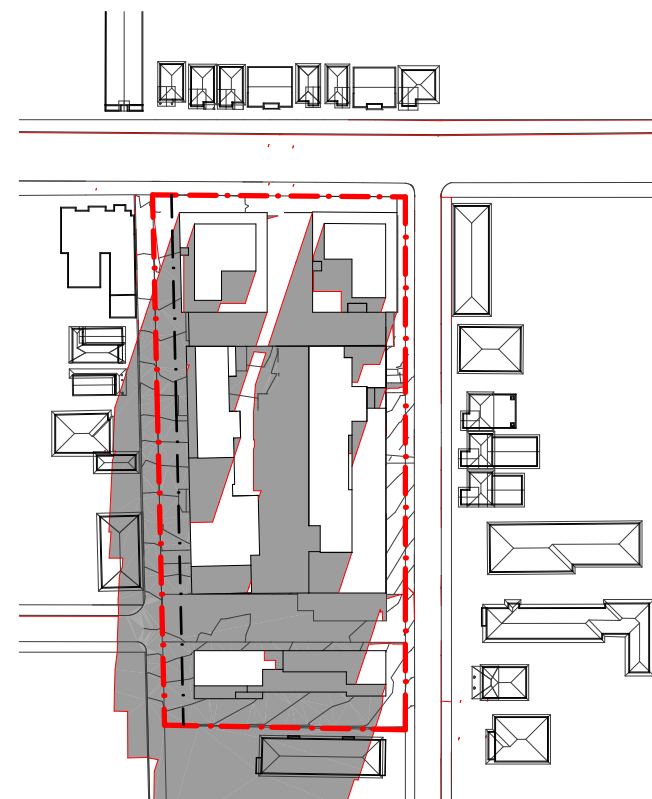
**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:  
SUBSET: 3D VIEWS  
DRAWN BY: DOC/SU/FK/WH  
FILE: STAN58

**SK 6**  
**SK 602**

ISSUE  
**B**





General Notes:  
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Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN 58

					B	ADDITIONAL DOCUMENTS			13.10.21
					A	ORIGINAL ISSUE			06.09.21
ISSUE	REVISIONS	COUNCIL BUILDUP		DATE	ISSUE	REVISIONS	COUNCIL BUILDUP		DATE

PROJECT:

**Cyprus club**  
58-76 stanmore road Stanmore NSW  
Australia  
#Site Custom

SHADOW ANALYSIS KENNEDY

SCALE:  
AS SHOWN

**P A S T U D I O**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**PK 7**

SUBSET:	COMPLIANCE DIAGRAMS
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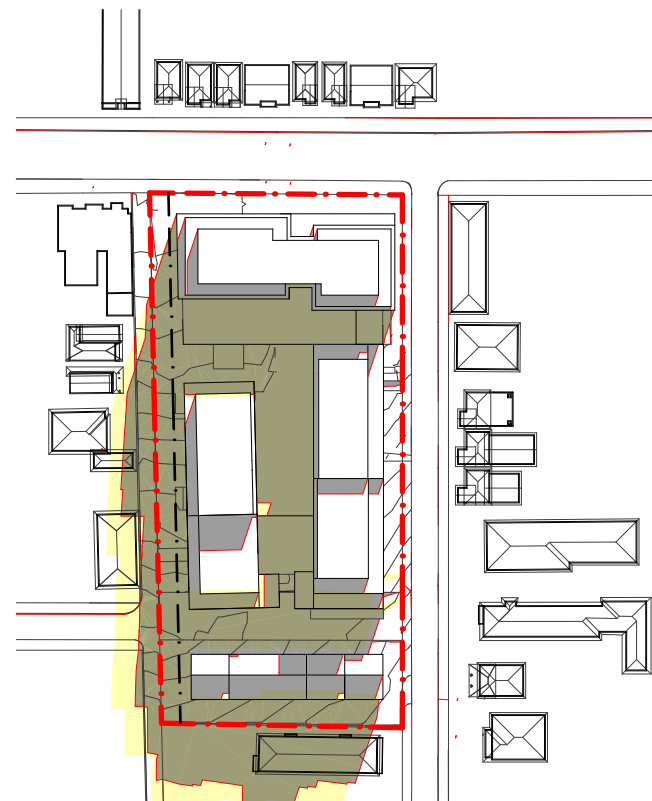
DRAWN BY: DOC/SU/FK/WH

SK 701

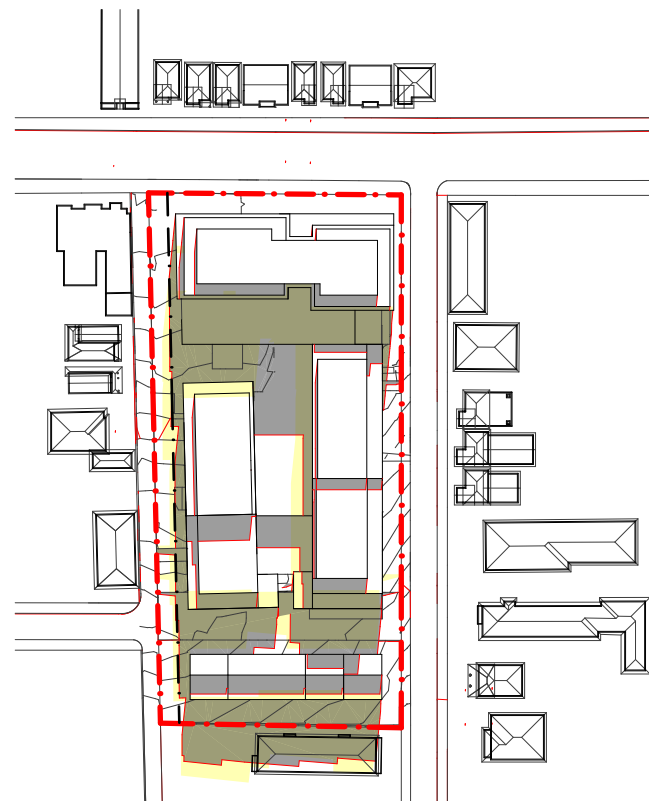
FILE: STAN58

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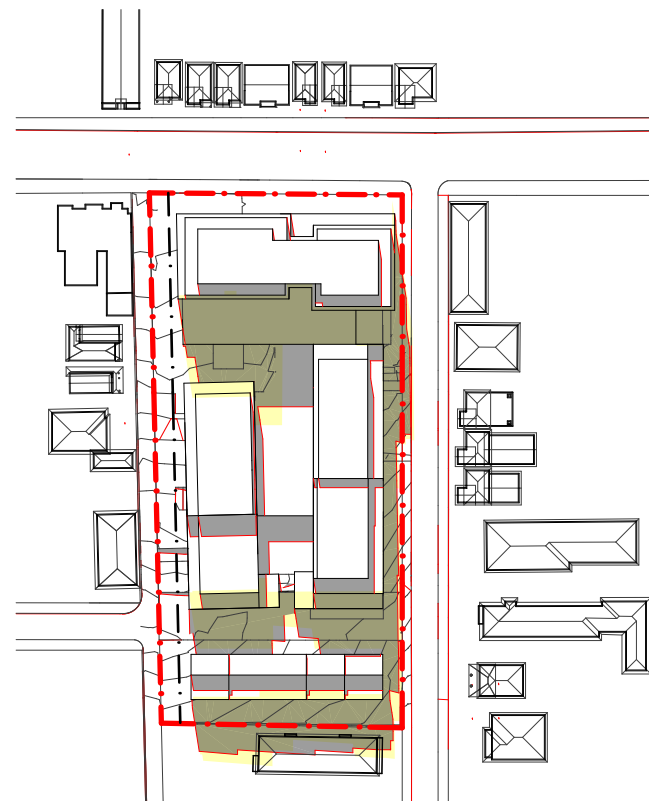




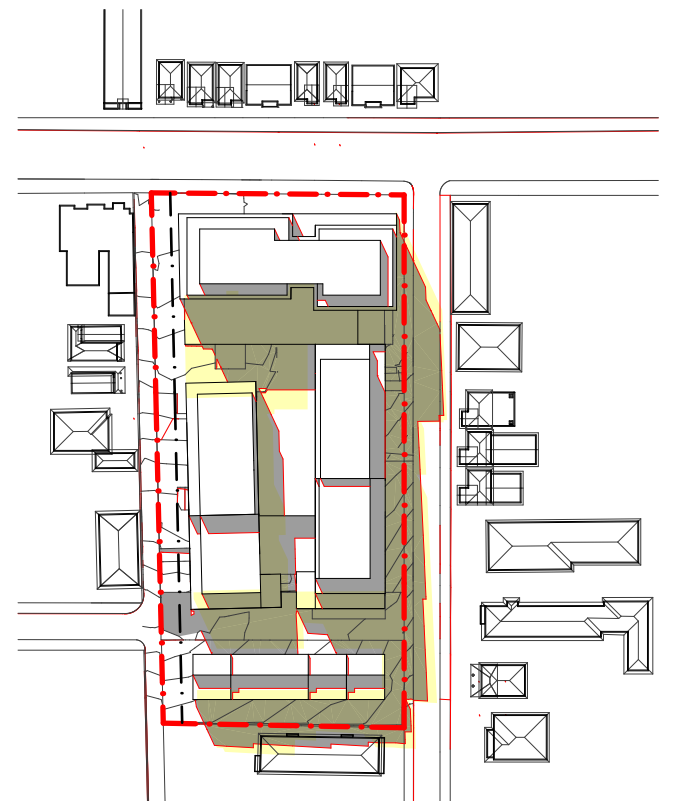
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1:2000



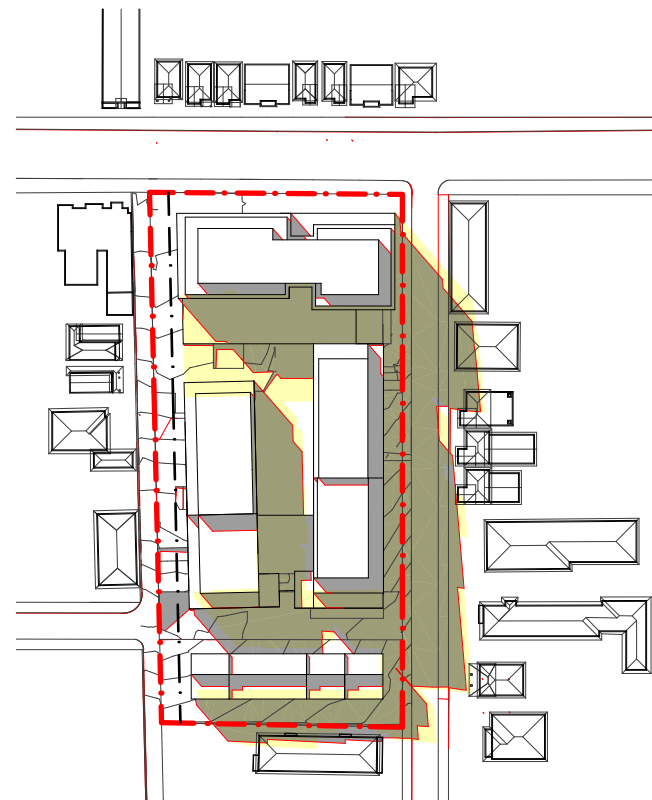
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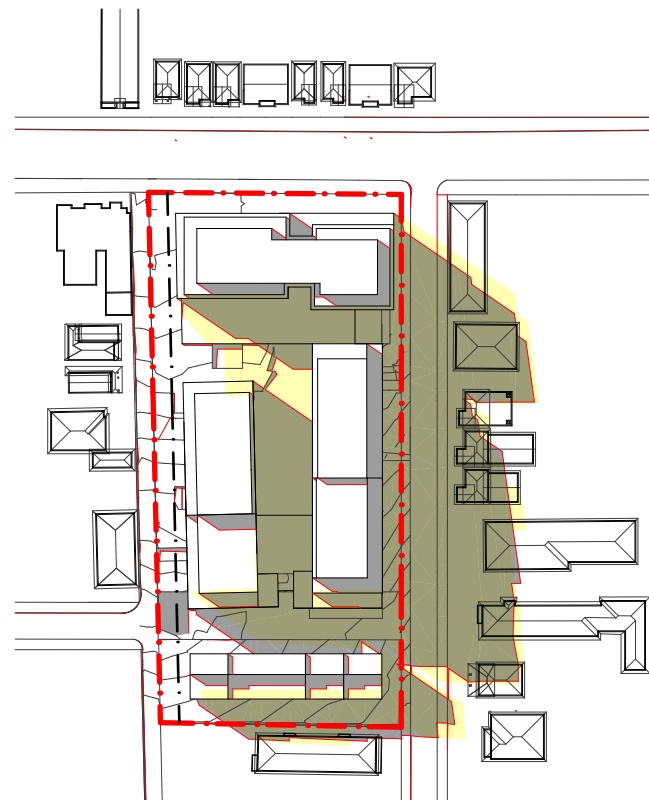
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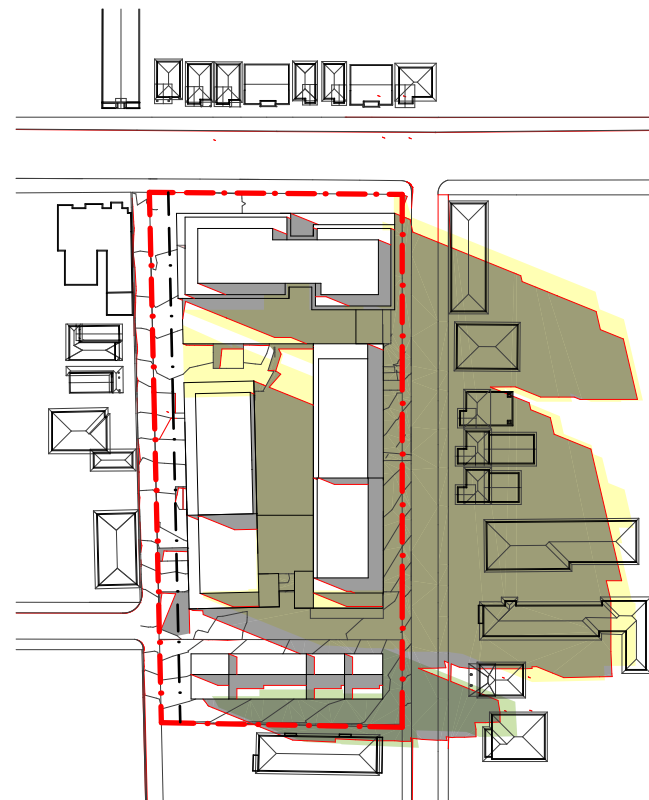
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05 \_ 21 JUN at 1300h  
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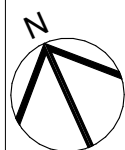


06 \_ 21 JUN at 1400h  
1:2000



07 \_ 21 JUN at 1500h  
1:2000

**YELLOW SHOWS  
ADDITIONAL SOLAR  
ACCESS**



General Notes:  
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FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**SHADOW ANALYSIS PROJECT**

SCALE:  
AS SHOWN

**P A S T U D I O**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 7**

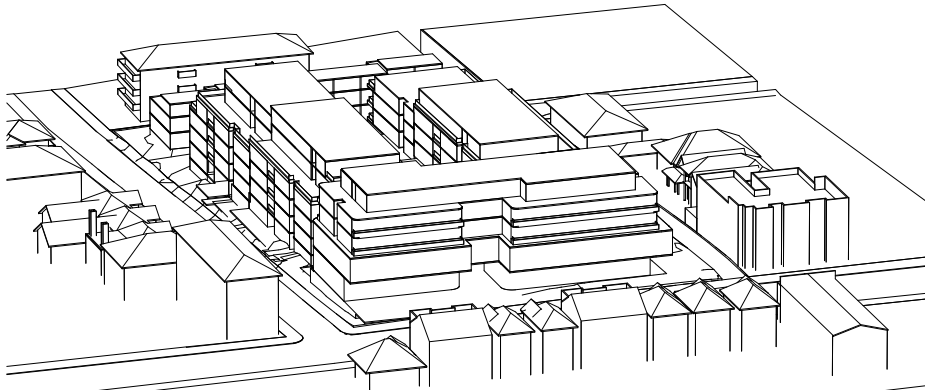
SUBSET: COMPLIANCE  
DIAGRAMS

DRAWN BY: DOC/SU/FK/WH

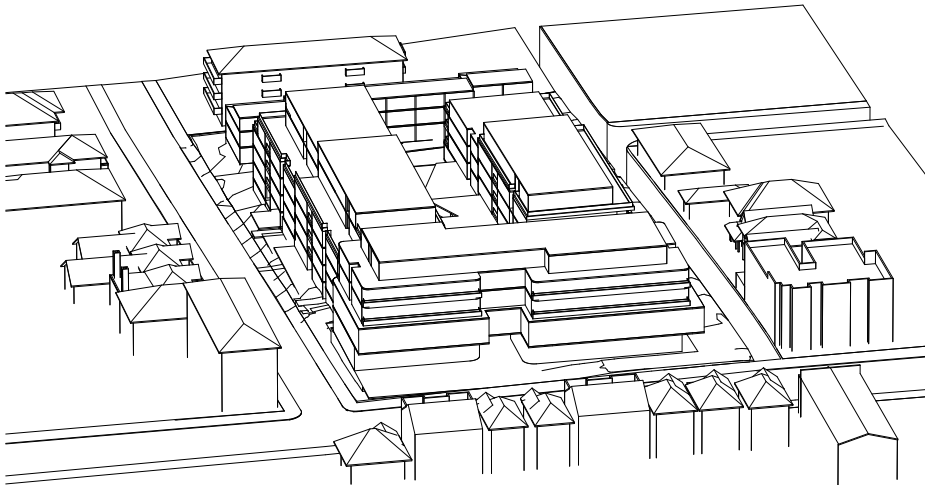
FILE: STAN58

**SK 702**

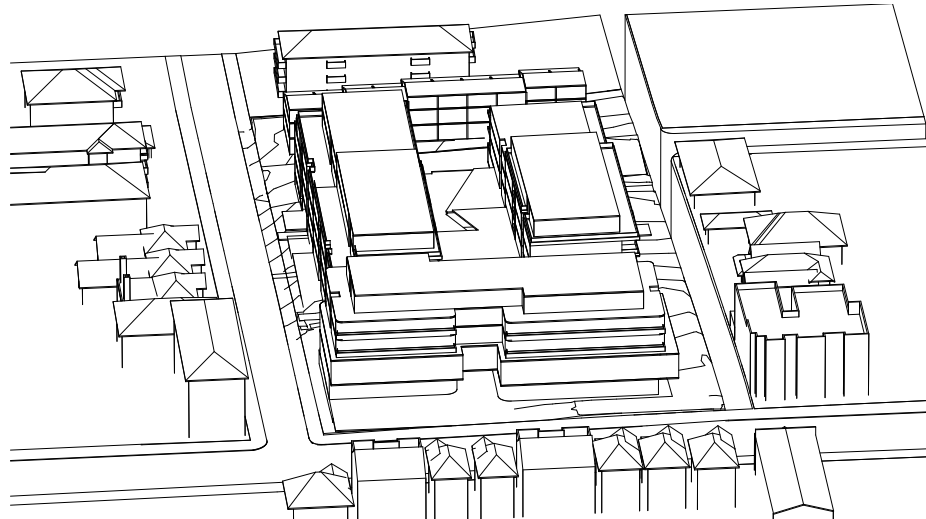
ISSUE  
**B**



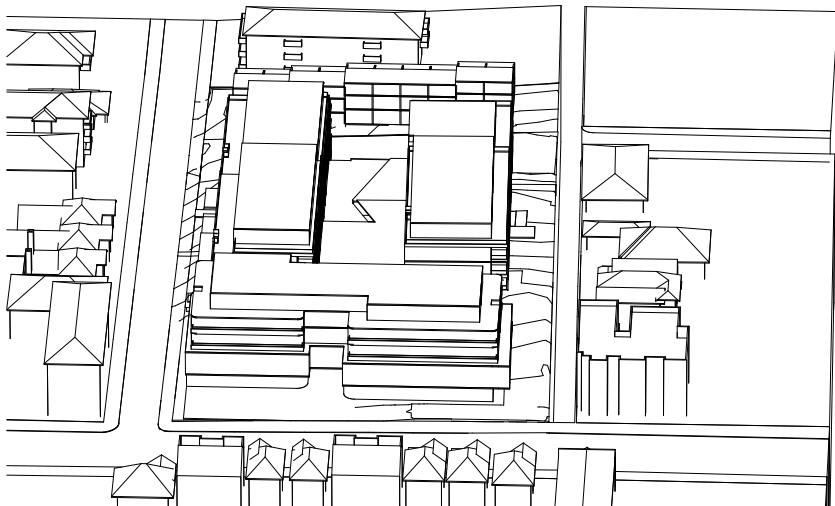
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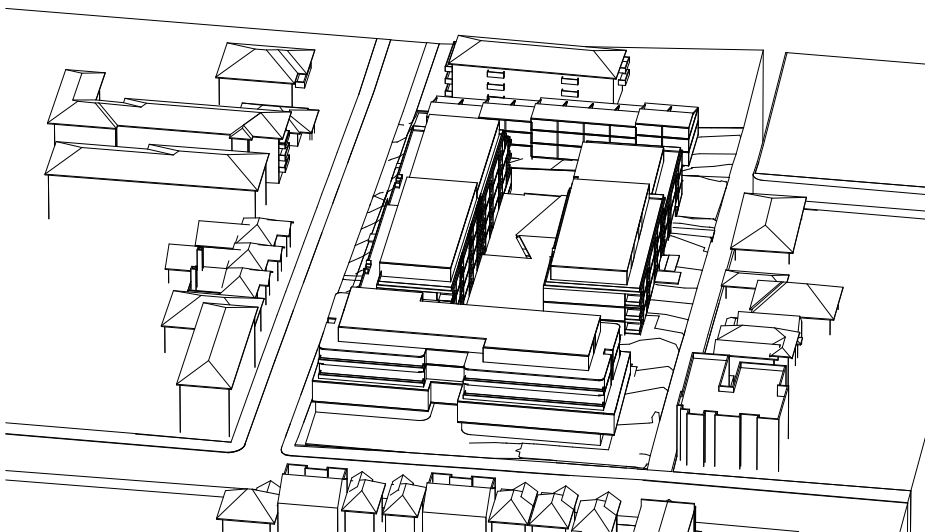
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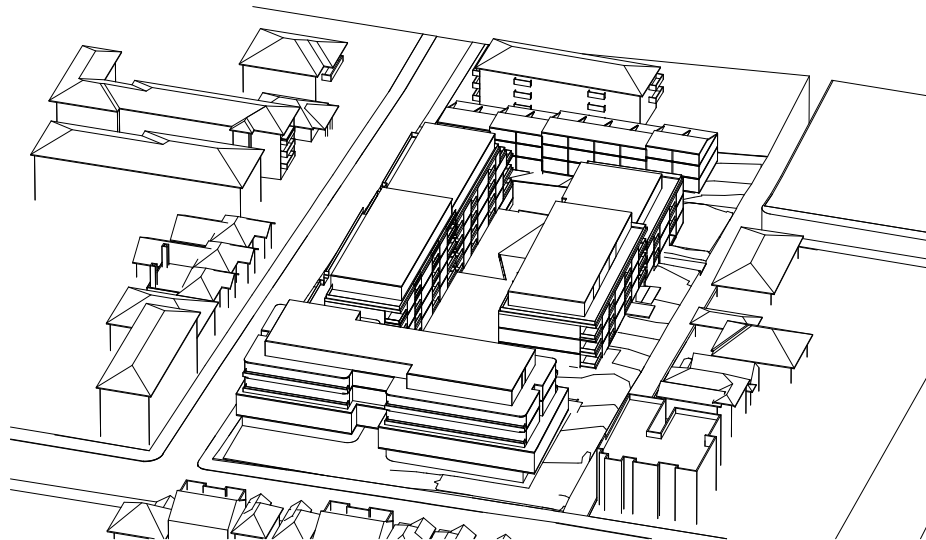
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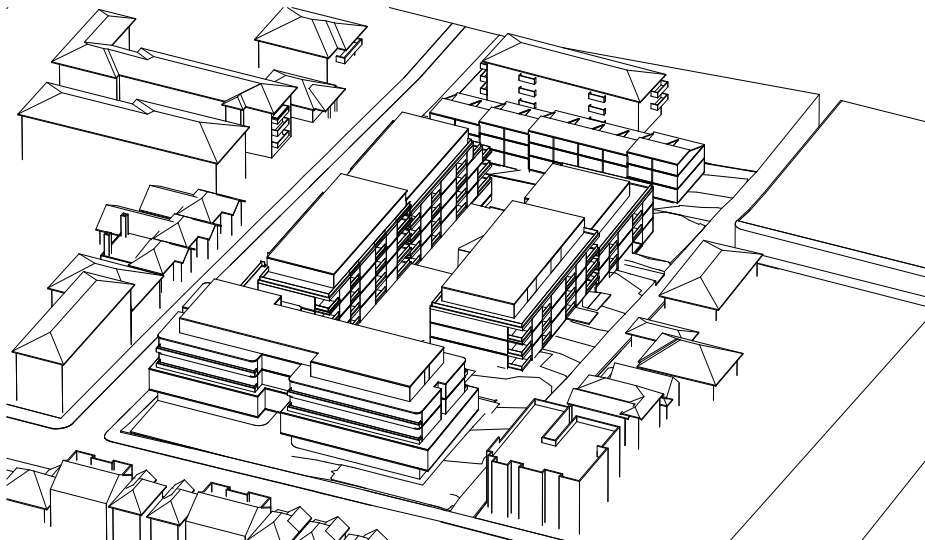
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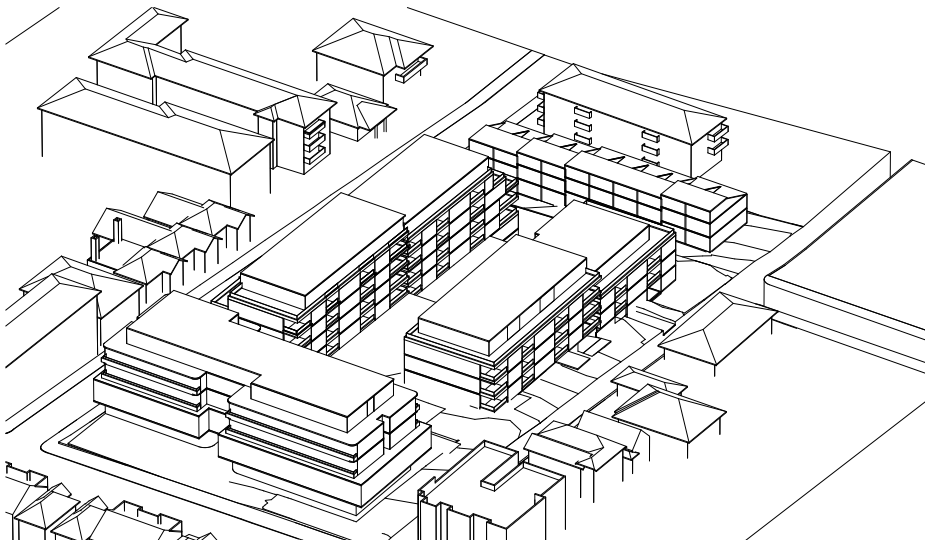
11.00am



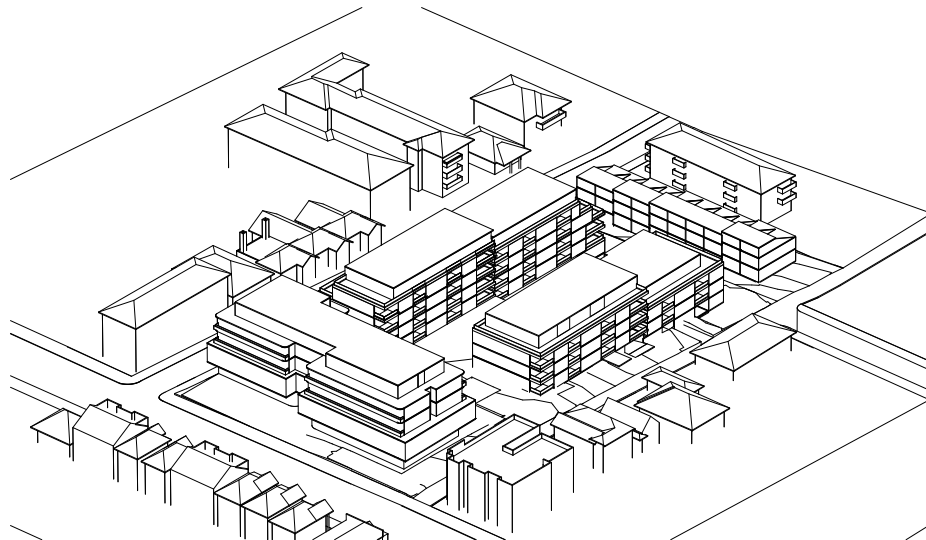
11.30am



12.00pm



12.30pm



1.00pm

General Notes:  
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All boundaries and contours subject to survey.

Printed 18/10/2021  
**PRELIMINARY**

FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:  
**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

IEWS FROM SUN SHEET 01

SCALE:  
AS SHOWN

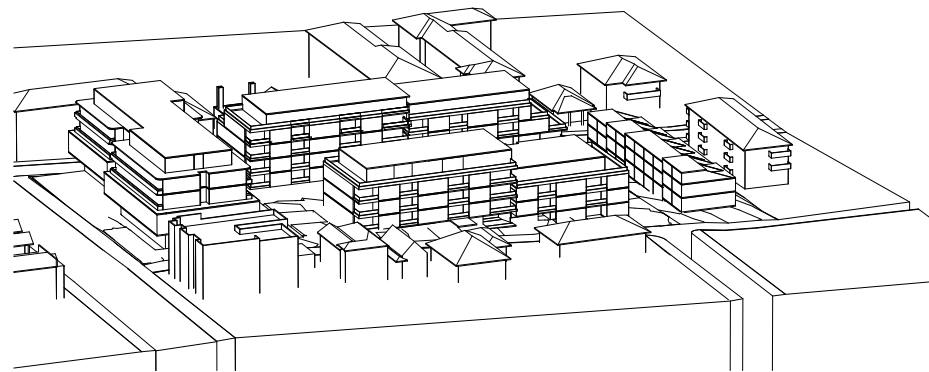
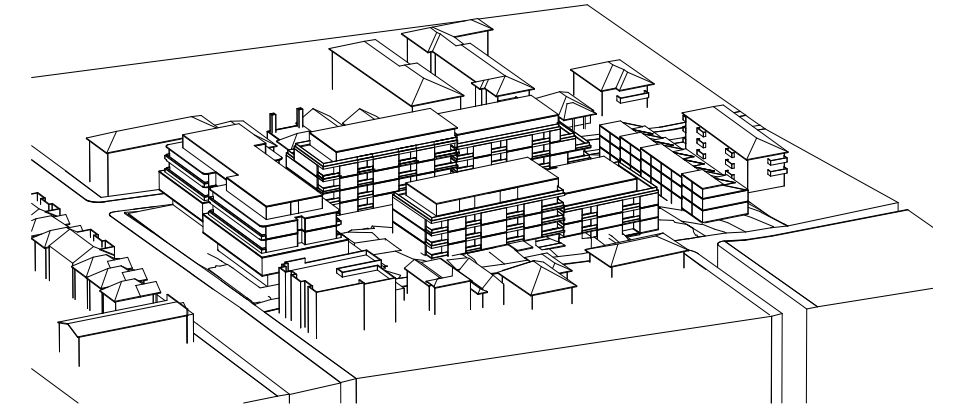
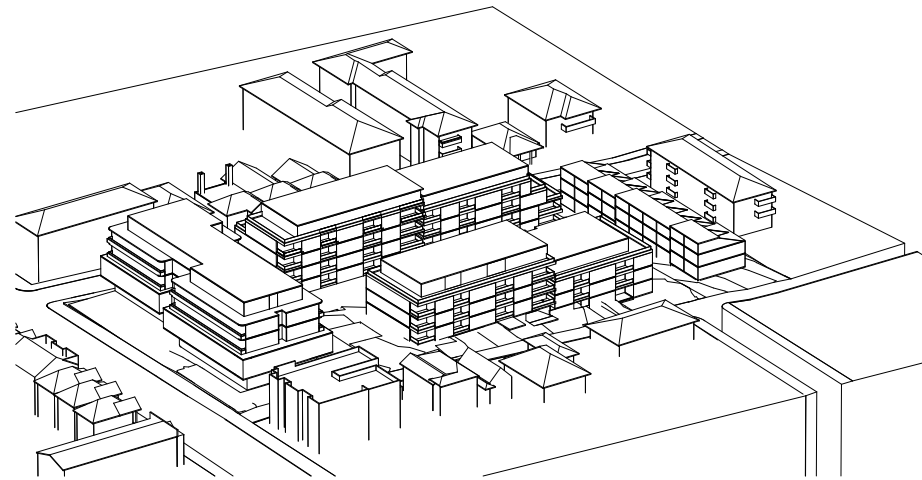
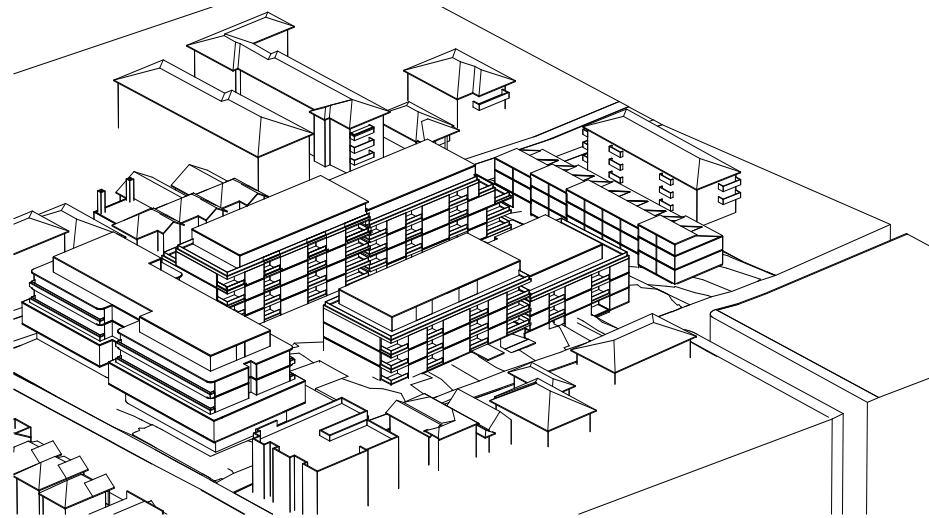
**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:  
SUBSET: COMPLIANCE  
DIAGRAMS  
DRAWN BY: DOC/SU/FK/WH  
FILE: STAN58

**SK 7**  
**SK 703**

ISSUE  
**B**





## NOTES

- solar access to rear yards + rear rooms of residences along Tupper Street is not impacted by indicative scheme
- indicative scheme has been designed to retain 2 hours of solar access to the front of residences along Tupper Street between 11:30 am - 1:30 pm on 21st June
- indicative scheme has been designed to retain 2 hrs solar access to living rooms & private open spaces of residences at 22 Tupper Street between 9:00 am - 3:00 pm on 21st June (time varies for each dwelling)
- solar access to residences on Alma Street is not impacted after 9:30 am on 21st June

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FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

[illegible]

PROJECT:

**Cyprus club**  
58-76 stanmore road Stanmore NSW  
Australia  
#Site Custom

**VIEWS FROM SUN SHEET 02**

SCALE:

AS SHOWN

P A S T U D I O  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2060  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 211

DRAWING SET ID:
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SUBSET:	COMPLIANCE DIAGRAMS
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	DRAWN BY: DOC/SU/FK/WH
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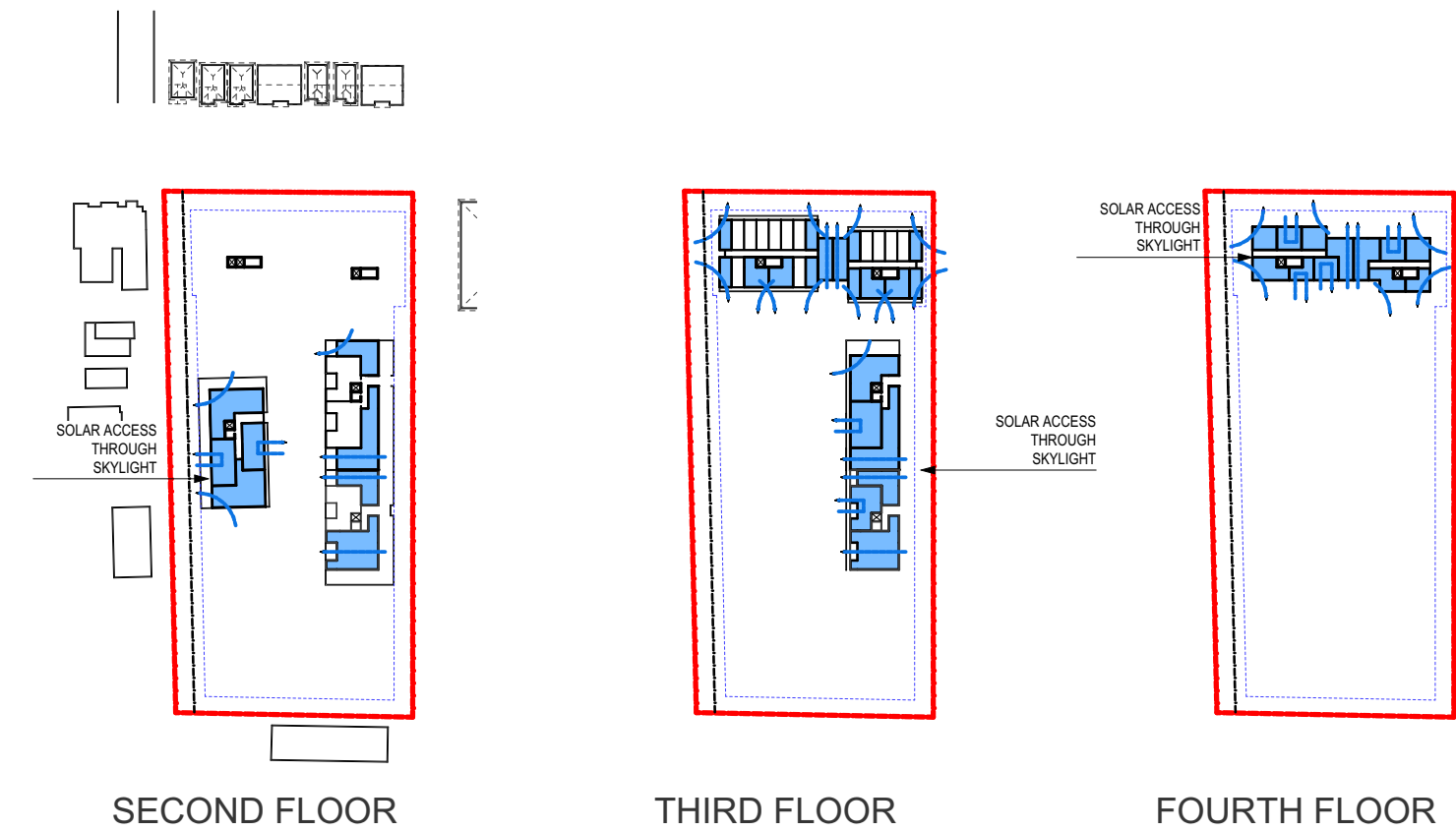
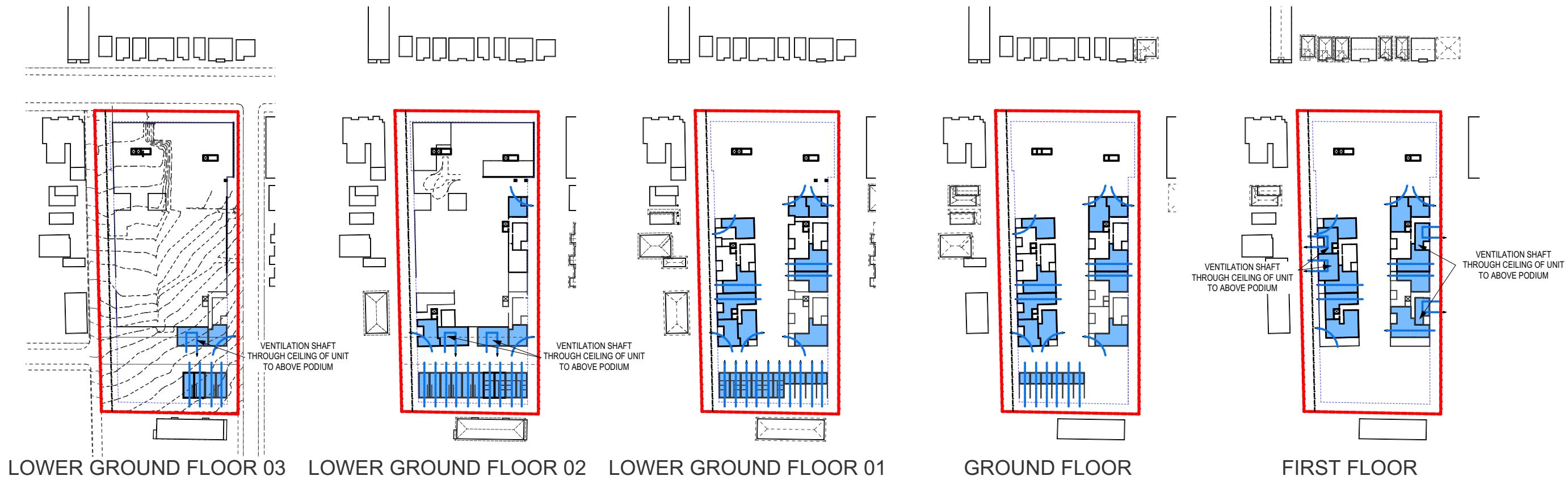
FILE: STAN58

SK 7

SK 704

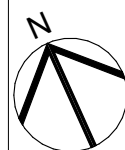
3

B



CROSS VENT			
BUILDING	STORY	CROSS VENT NUMBER	
SITE A	A		BUILDING A - NUMBER OF UNITS : 38 CROSS VENT % : 68.5%
	THIRD FLOOR	14	
	FOURTH FLOOR	12	
		<b>26</b>	
SITE B	C		BUILDING C - NUMBER OF UNITS : 52 CROSS VENT % : 62%
	LOWER GROUND FLOOR 03	2	
	LOWER GROUND FLOOR 02	3	
	LOWER GROUND FLOOR 01	5	
	GROUND FLOOR	5	
	FIRST FLOOR	7	
	SECOND FLOOR	4	
	THIRD FLOOR	6	
		<b>32</b>	
	D		
	LOWER GROUND FLOOR 02	2	BUILDING D - NUMBER OF UNITS : 29 CROSS VENT % : 76%
	LOWER GROUND FLOOR 01	5	
	GROUND FLOOR	5	
	FIRST FLOOR	6	
	SECOND FLOOR	4	
		<b>22</b>	
SITE C	N/A (TOWNHOUSES)		

unit achieves natural cross ventilation



General Notes:  
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Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
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PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**CROSS VENT**

SCALE:  
AS SHOWN

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 0968 1900 FAX: 0968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 7**

SUBSET: COMPLIANCE  
DIAGRAMS

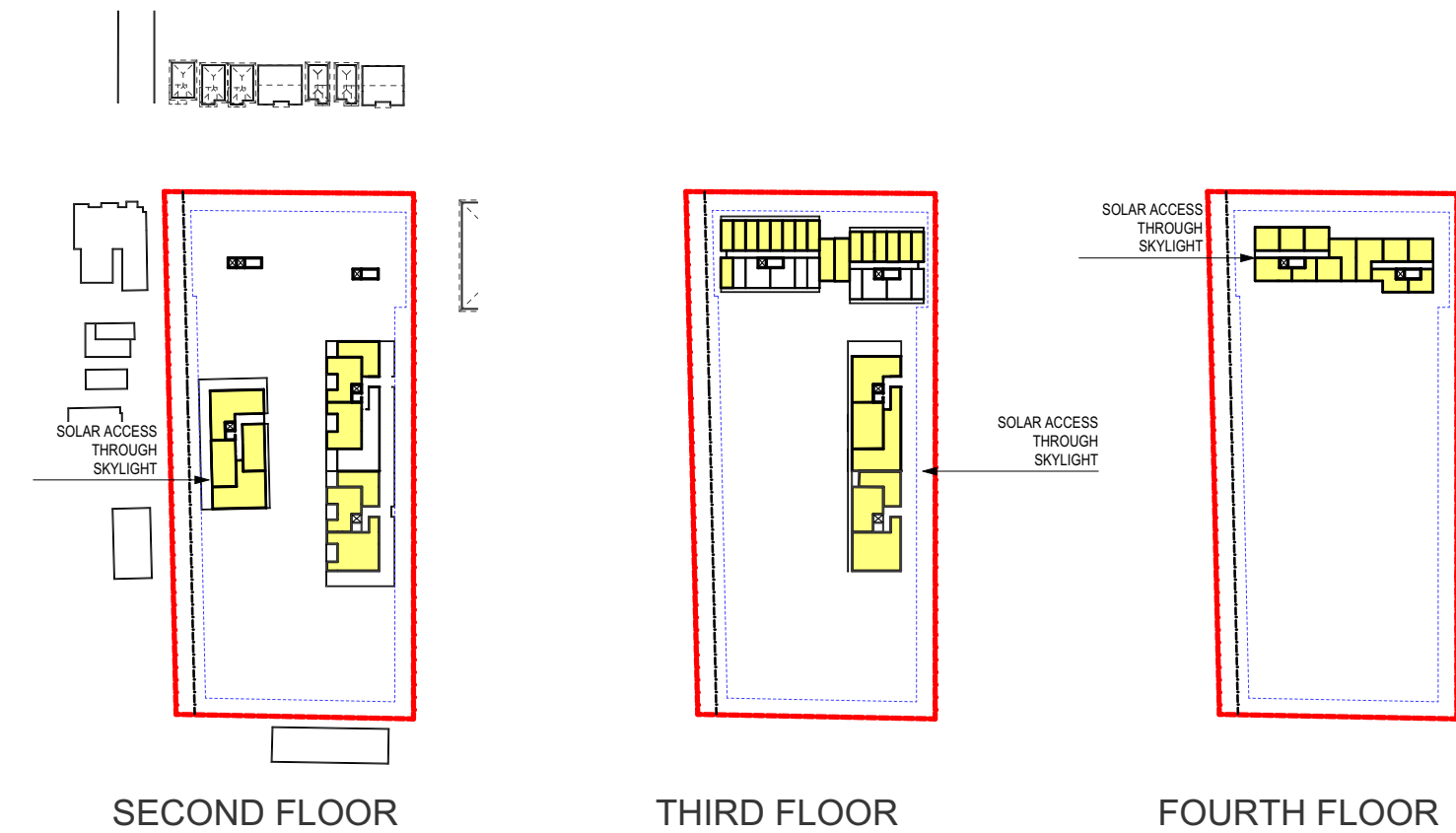
DRAWN BY: DOC/SU/FK/WH

FILE: STAN58


**SK 705**

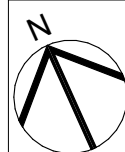
ISSUE

**B**



SOLAR ACCESS			
BUILDING	STORY	UNIT RECEIVING COMPLIANT SOLAR ACCESS	
SITE A			BUILDING A - NUMBER OF UNITS : 38 SOLAR ACCESS % : 76%
	THIRD FLOOR	17	
	FOURTH FLOOR	12	
		29	
SITE B			BUILDING C - NUMBER OF UNITS : 52 SOLAR ACCESS % : 71%
	LOWER GROUND FLOOR 02	2	
	LOWER GROUND FLOOR 01	8	
	GROUND FLOOR	8	
	FIRST FLOOR	7	
	SECOND FLOOR	6	
	THIRD FLOOR	6	
		37	
SITE C			BUILDING D - NUMBER OF UNITS : 29 SOLAR ACCESS % : 83%
	LOWER GROUND FLOOR 02	2	
	LOWER GROUND FLOOR 01	6	
	GROUND FLOOR	6	
	FIRST FLOOR	6	
	SECOND FLOOR	4	
		24	
SITE C			N/A (TOWNHOUSES)

 unit receives 2 or more hours of solar access to living room and private open space between 9am and 3pm on winter solstice



General Notes:  
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FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE	ISSUE	REVISIONS	COUNCIL BUILDER OTHERS	DATE
				B	ADDITIONAL DOCUMENTS		13.10.21
				A	ORIGINAL ISSUE		06.09.21

PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

**SOLAR ACCESS**

SCALE:  
AS SHOWN

**P A S T U D I O**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 7**

SUBSET: COMPLIANCE  
DIAGRAMS

DRAWN BY: DOC/SU/FK/WH

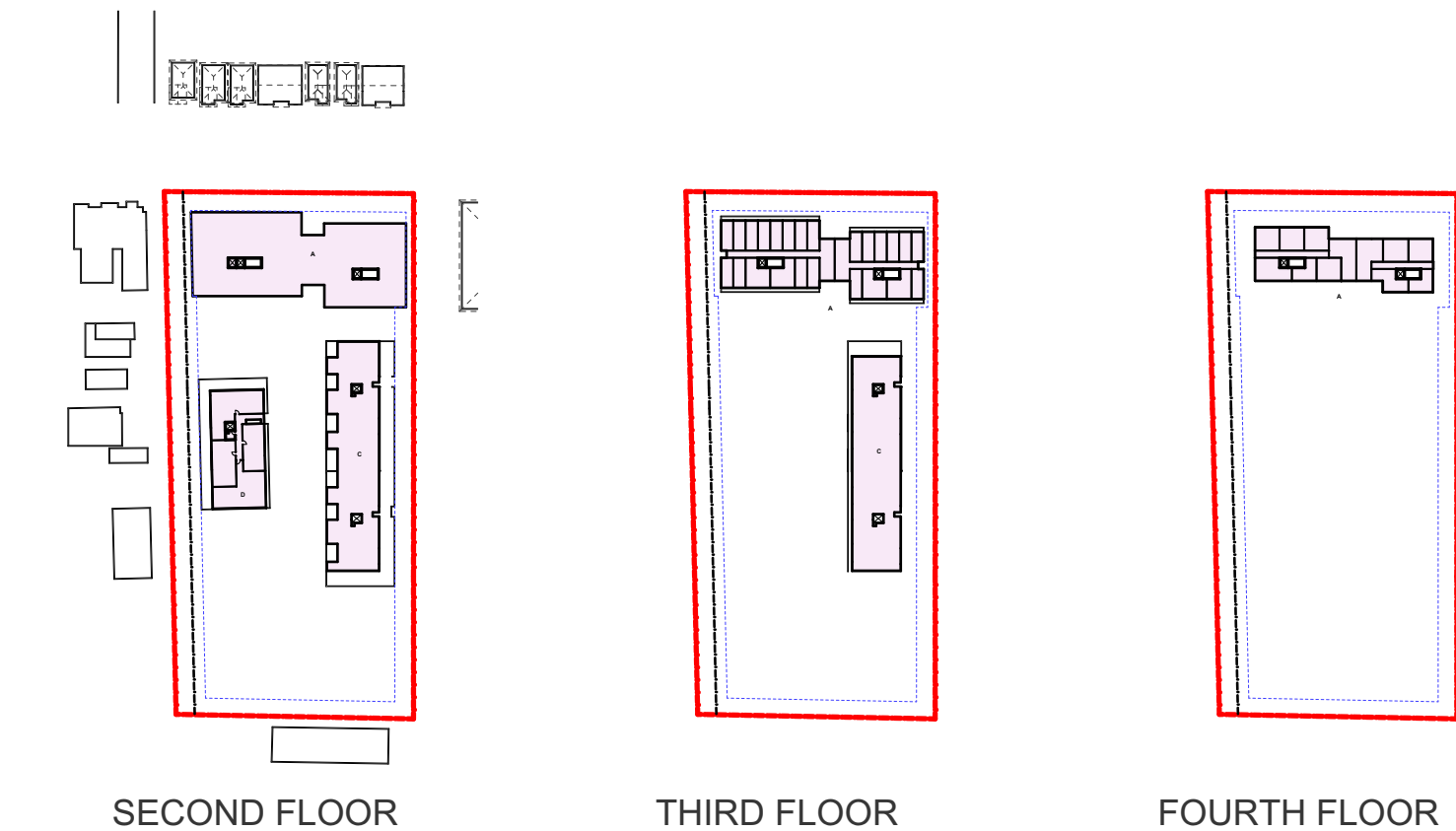
FILE: STAN58

**SK 706**

ISSUE

**B**



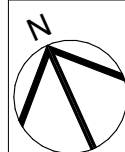


SITE AREA *			
Site A & B	7,806		
Site C	1,323		
Total Site Area	9,129		
FSR CALCULATIONS			
	Site Area	Max FSR	Max Floor Space
Site A & B	7,806	1.65	12,880
Site C	1,323	1	1,323
Total Site Area	9129		

Site A & B		
Building	Floor	GFA
A	Ground	415
A	Ground	429
A	First	1,198
A	Second	887
A	Third	887
A	Fourth	608
		4,410
C	Lower Ground	304
C	Lower Ground	636
C	Lower Ground	994
C	Ground	994
C	First	944
C	Second	681
C	Third	662
		5,215
D	Lower Ground	281
D	Lower Ground	856
D	Ground	856
D	First	773
D	Second	402
		3,169
Total GFA on Site A & B		12,808

Building	Site C	GFA
E	Ground	530
E	First	530
E	Attic	265
Total GFA on Site C		1,324

\*Calculation As per Cl. 4.4(2)(c) of Marrickville LEP, all road widening land to be included in site area for purposes of calculating FSR.



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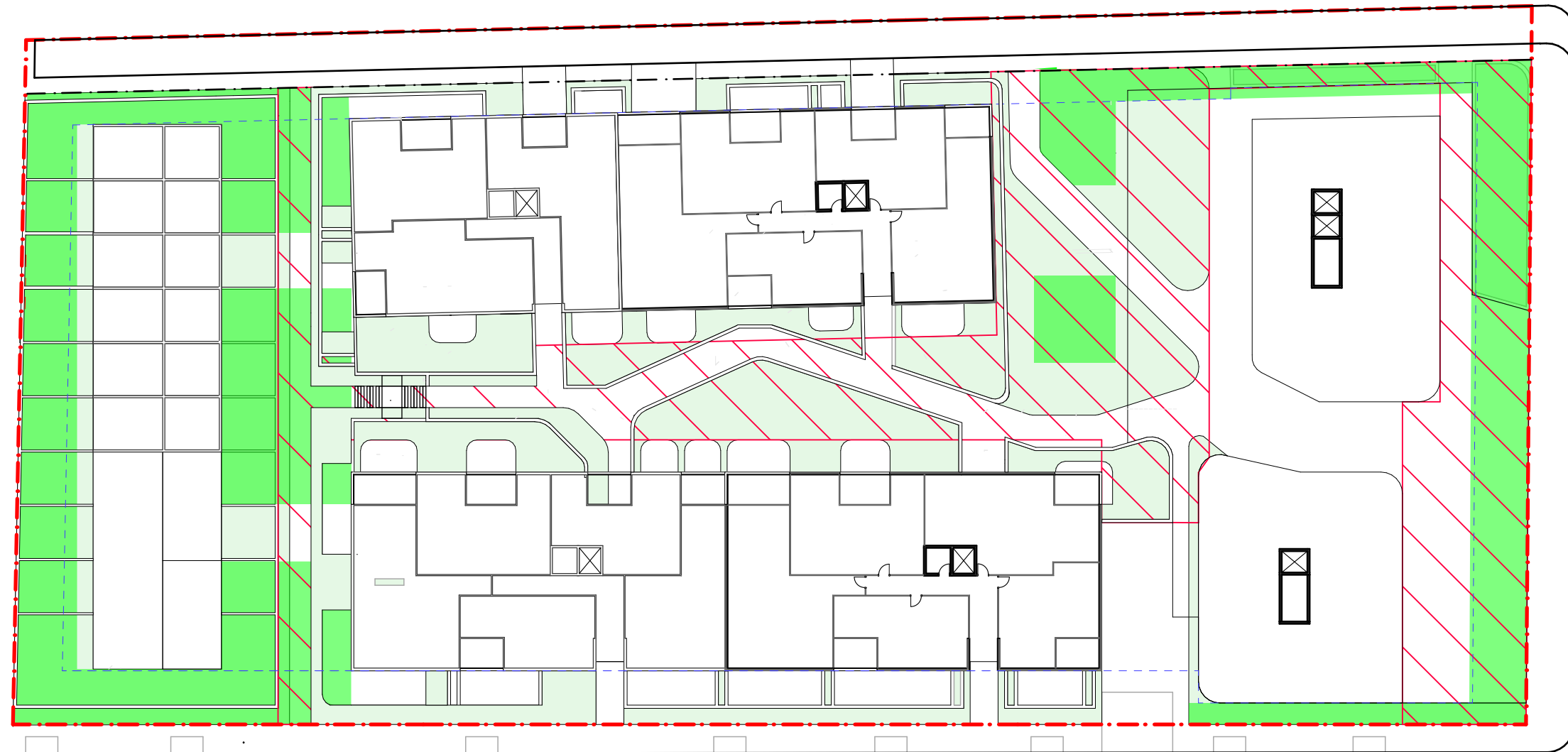
FILE PATH: BIMcloud: Bimcloud - BIMcloud Basic for ARCHICAD 24/STAN58

Printed 18/10/2021  
**PRELIMINARY**

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PROJECT:  
**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

FSR		DRAWING SET ID:	SK 7	ISSUE
		SUBSET:	COMPLIANCE DIAGRAMS	
		DRAWN BY:	DOC/SU/FK/WH	
SCALE:	<b>P A S TUDIO</b> LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089 TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288	FILE:	STAN58	B
AS SHOWN				



DEEP SOIL & COMMUNAL OPEN SPACE

1:500

ADG :

Deep soil zones are areas of soil not covered by buildings or structures within a development. They exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas.

- 10% of the site as deep soil on sites with an area of 650 - 1,500sqm
- 15% of the site as deep soil on sites greater than 1,500sqm

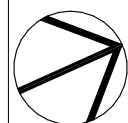
Communal open space has a minimum area equal to 25% of the site. Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they should:

- provide communal spaces elsewhere such as a landscaped roof top terrace or a common room
- provide larger balconies or increased private open space for apartments

SITE AREA = 8,432sqm (AFTER ROAD WIDENING)

**DEEP SOIL ZONE PROVIDED : 1,691 m<sup>2</sup>**  
**i.e 20% of Site Area (more than 15% of Site area)**

~~**COMMUNAL OPEN SPACE : 2,216 m<sup>2</sup>**~~  
~~**i.e 26% of Site Area (more than 25% of Site area)**~~



General Notes:  
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PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

DEEP SOIL & COS CALC

SCALE:  
AS SHOWN

**P A STUDIO**  
LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

**SK 7**

SUBSET: COMPLIANCE  
DIAGRAMS

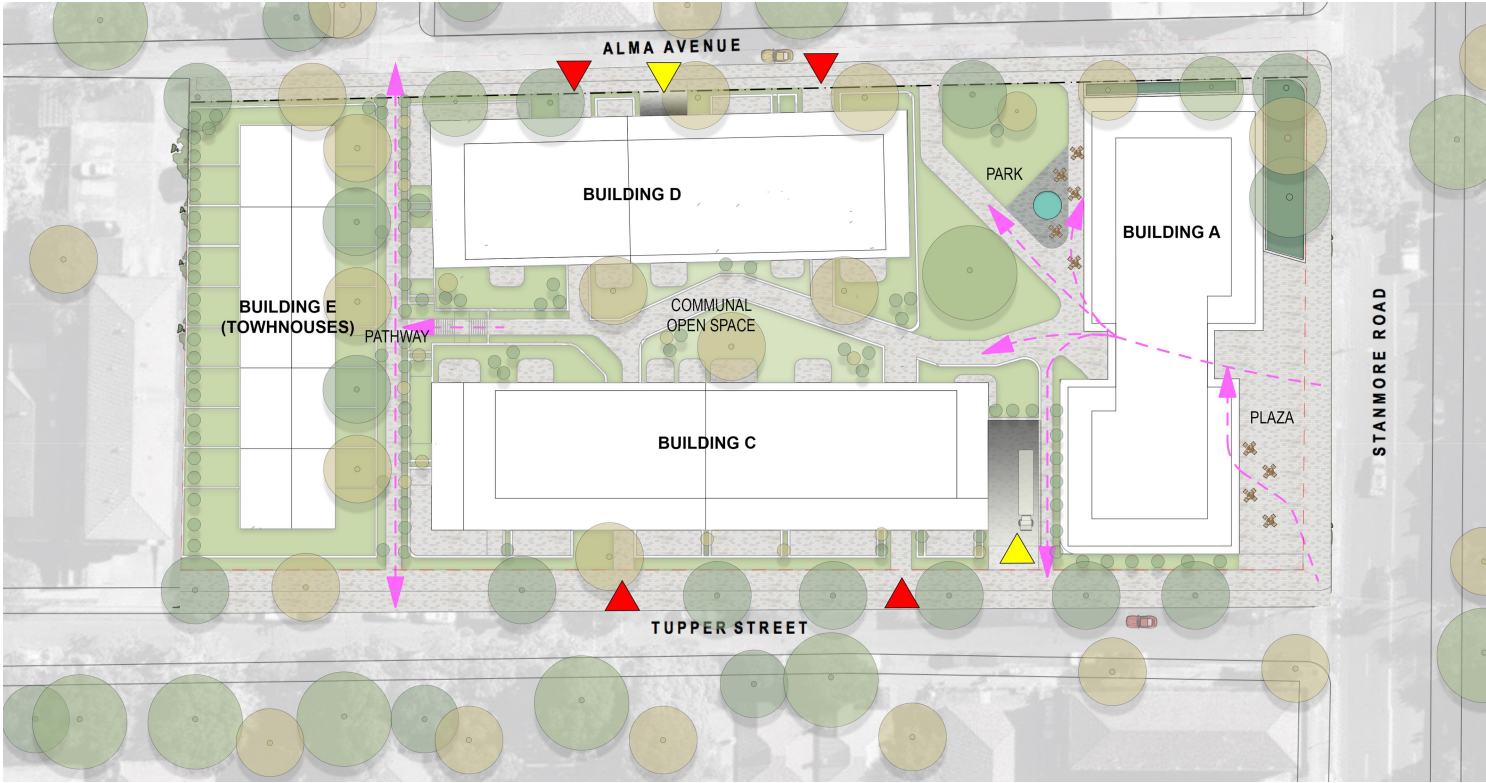
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FILE: STAN58

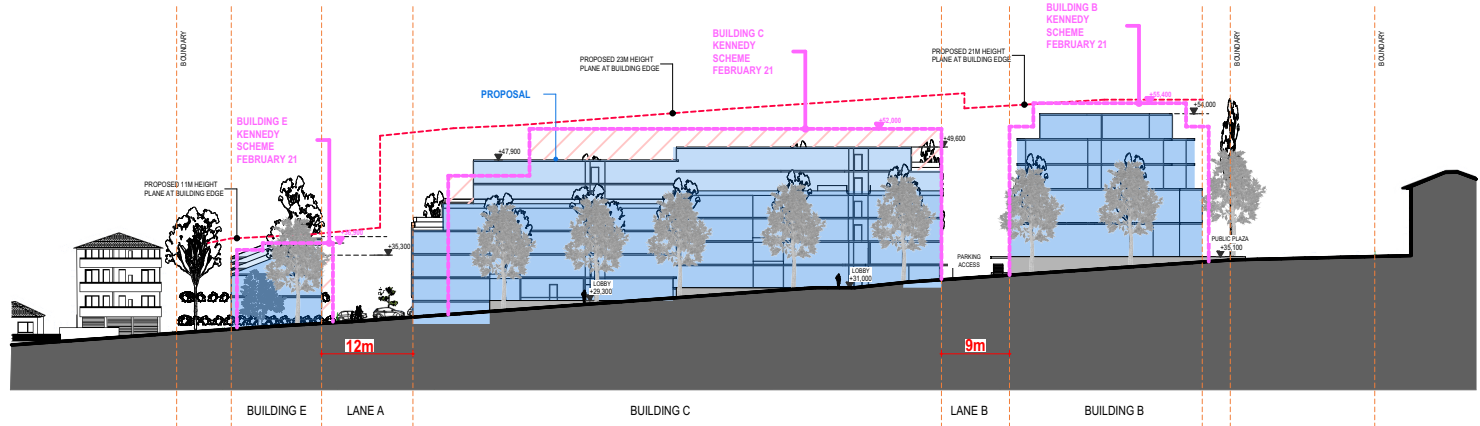
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ISSUE

B

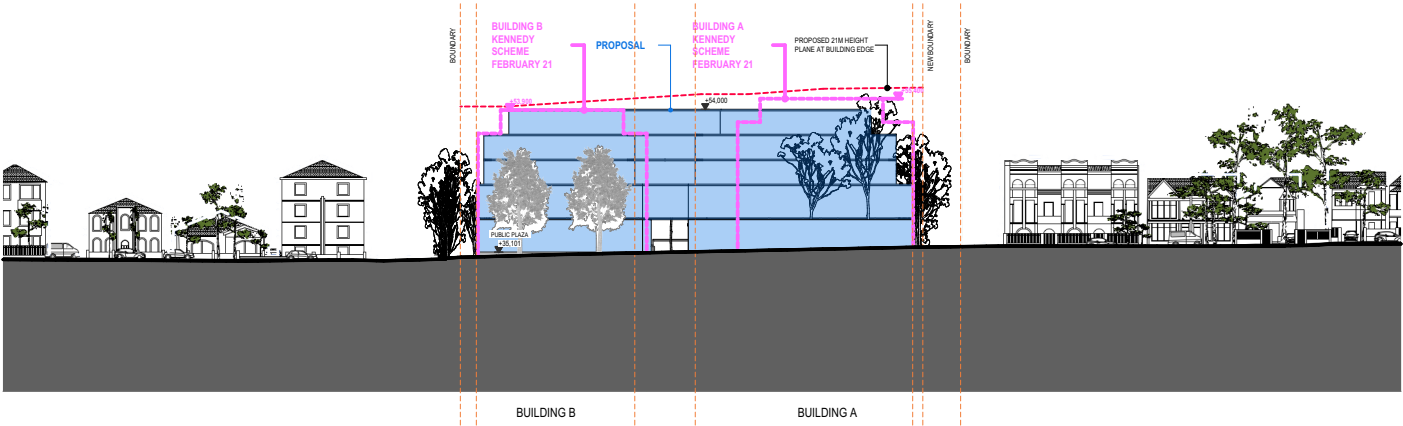


SITE PLAN



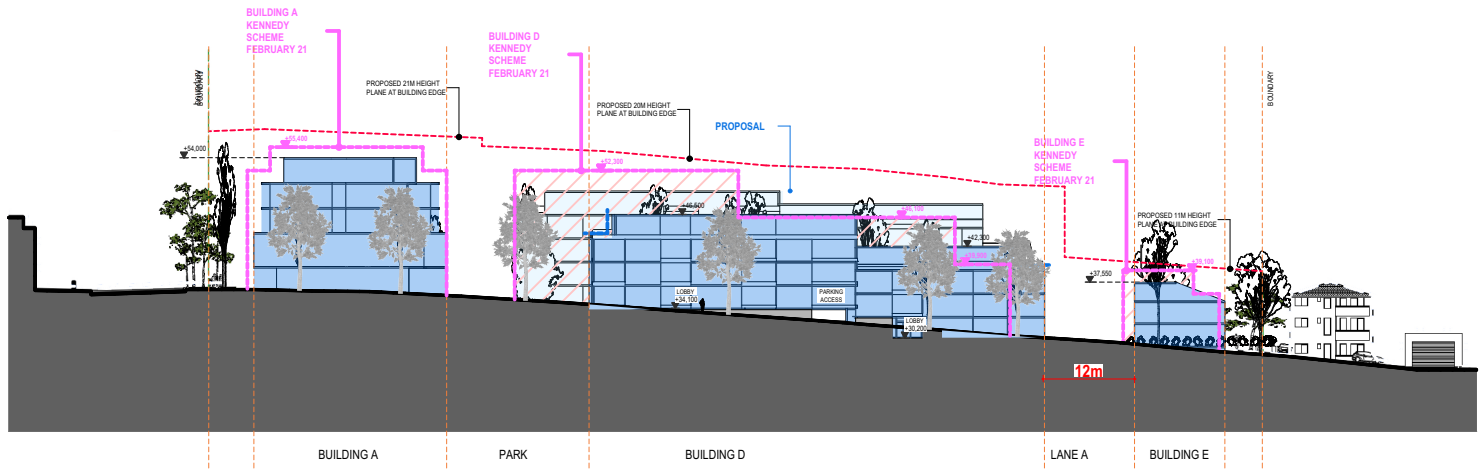
EAST ELEVATION (TUPPER STREET)

1:1000



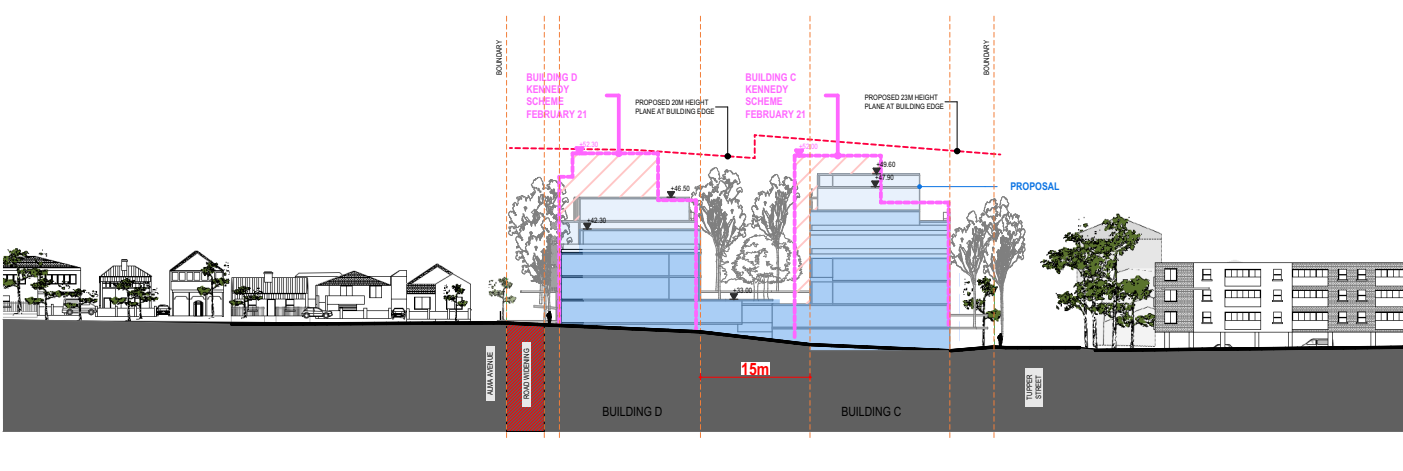
NORTH ELEVATION (STANMORE ROAD)

1:1000



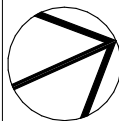
WEST ELEVATION (ALMA AVENUE)

1:1000



SOUTH ELEVATION

1:1000



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PROJECT:

**Cyprus club**  
**58-76 stanmore road Stanmore NSW**  
**Australia**  
**#Site Custom**

NOTIFICATION PLAN

SCALE:

AS SHOWN

**P A STUDIO**

LEVEL 2, 20 YOUNG ST. NEUTRAL BAY, NSW 2089  
TEL: 8968 1900 FAX: 8968 1999 ACN: 603 389 288

DRAWING SET ID:

SUBSET: COMPLIANCE  
DIAGRAMS

DRAWN BY: DOC/SU/FK/WH

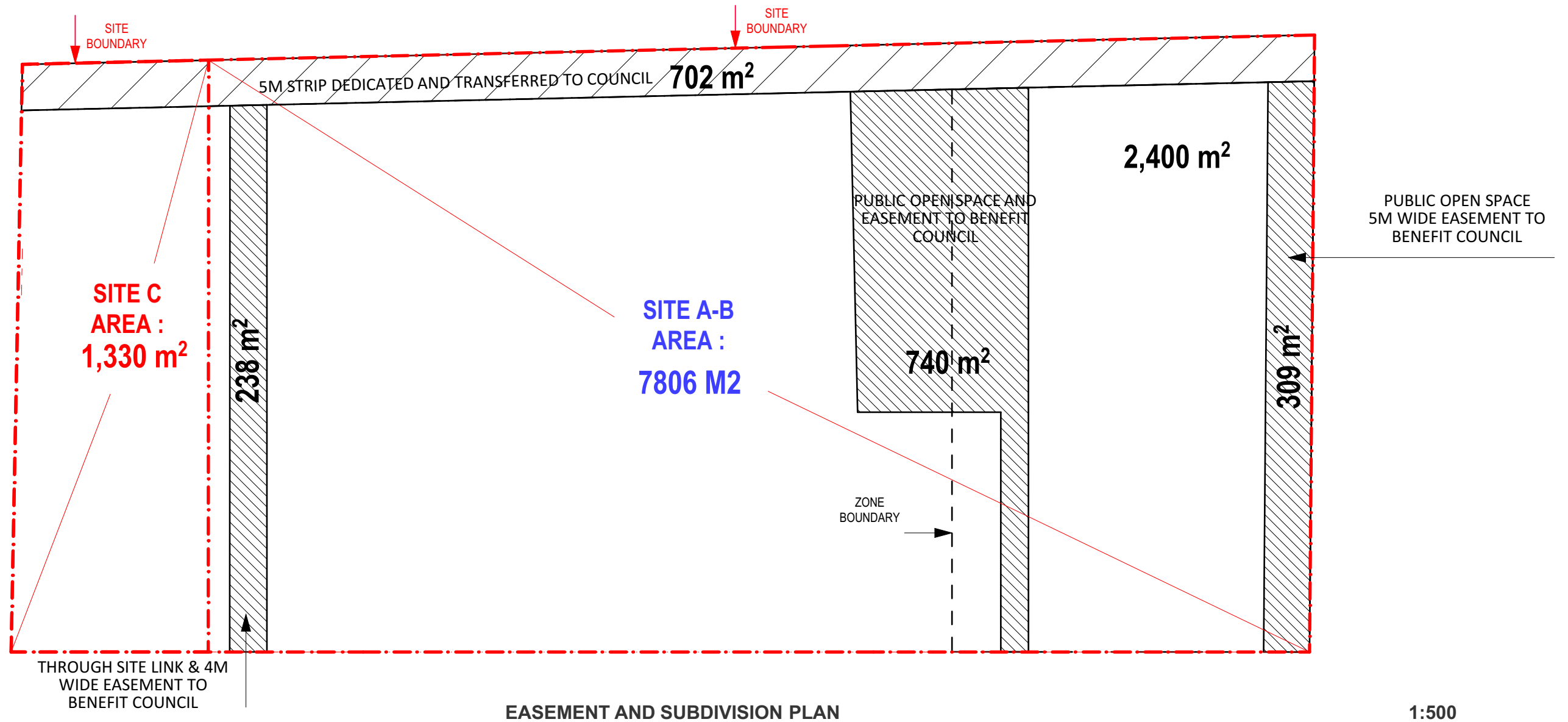
FILE: STAN58

**SK 7**

**SK 709**

ISSUE

**B**



EASEMENT AND SUBDIVISION PLAN

1:500







## **APPENDIX H: SITE PHOTOGRAPHS**

## SITE PHOTOGRAPHS

Client:	Platino Properties Pty Ltd
Project:	PSI
Site Location:	58-76 Stanmore Road, 2-20 Tupper St, 1-9 Alma Street, Stanmore NSW
Job No.:	E2728



Photo 1



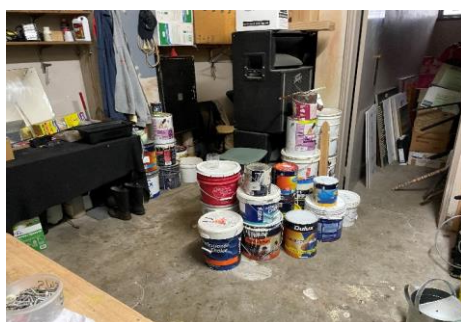
View of 58-76 Stanmore road (The Cyprus Club)  
Looking south-east  
Inspected 11.11.2021

Photo 2



View of lower ground level of 58-76 Stanmore Road  
Looking south-west  
Inspected 11.11.2021

Photo 3



View from storage area at 58-76 Stanmore Road  
Inspected 11.11.2021

Photo 4



View from backyard of the 58-76 Stanmore Road  
Looking north-west  
Inspected 11.11.2021

Photo 5



View of the car park and substation of the 3-9 Alma St  
Looking south-west  
Inspected 11.11.2021

Photo 6



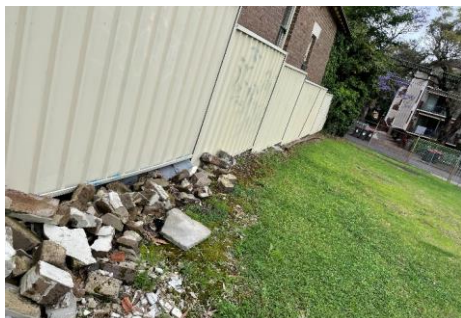
View of the car park at 20 Tupper St  
Looking south-east  
Inspected 11.11.2021

## SITE PHOTOGRAPHS

Client:	Platino Properties Pty Ltd
Project:	PSI
Site Location:	58-76 Stanmore Road, 2-20 Tupper St, 3-9 Alma Street, Stanmore
Job No.:	NSW E2728



**Photo 1**



View of 20 Tupper St near boundry 14  
Tupper St  
Looking south-east  
Inspected 11.11.2021

**Photo 2**



View of back yard of 14 Tupper St  
Looking west  
Inspected 11.11.2021

**Photo 3**



View from backyard of 12 Tupper St  
Looking north-west  
Inspected 11.11.2021

**Photo 4**



View from lane way of 10 Tupper St  
looking west  
Inspected 11.11.2021

**Photo 5**



View of laneway between No. 6-8 Tupper  
St  
Looking west  
Inspected 11.11.2021

**Photo 6**



View from backyard of No.4 Tupper St  
Looking south-east  
Inspected 11.11.2021

## **APPENDIX I: ACID SULPHATE SOIL RISK MAP**





# Marrickville Local Environmental Plan 2011

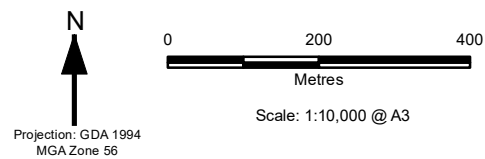
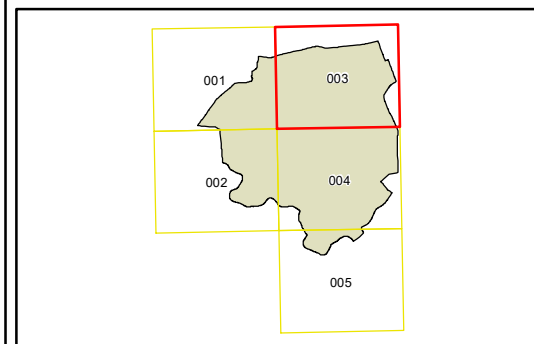
## Acid Sulfate Soils Map - Sheet ASS\_003

### Acid Sulfate Soils

- 1 Class 1
- 2 Class 2
- 4 Class 4
- 5 Class 5

### Cadastre

Cadastre 28/09/2020 © DFSI Spatial Services



Map identification number: 5200\_COM\_ASS\_003\_010\_20200928

